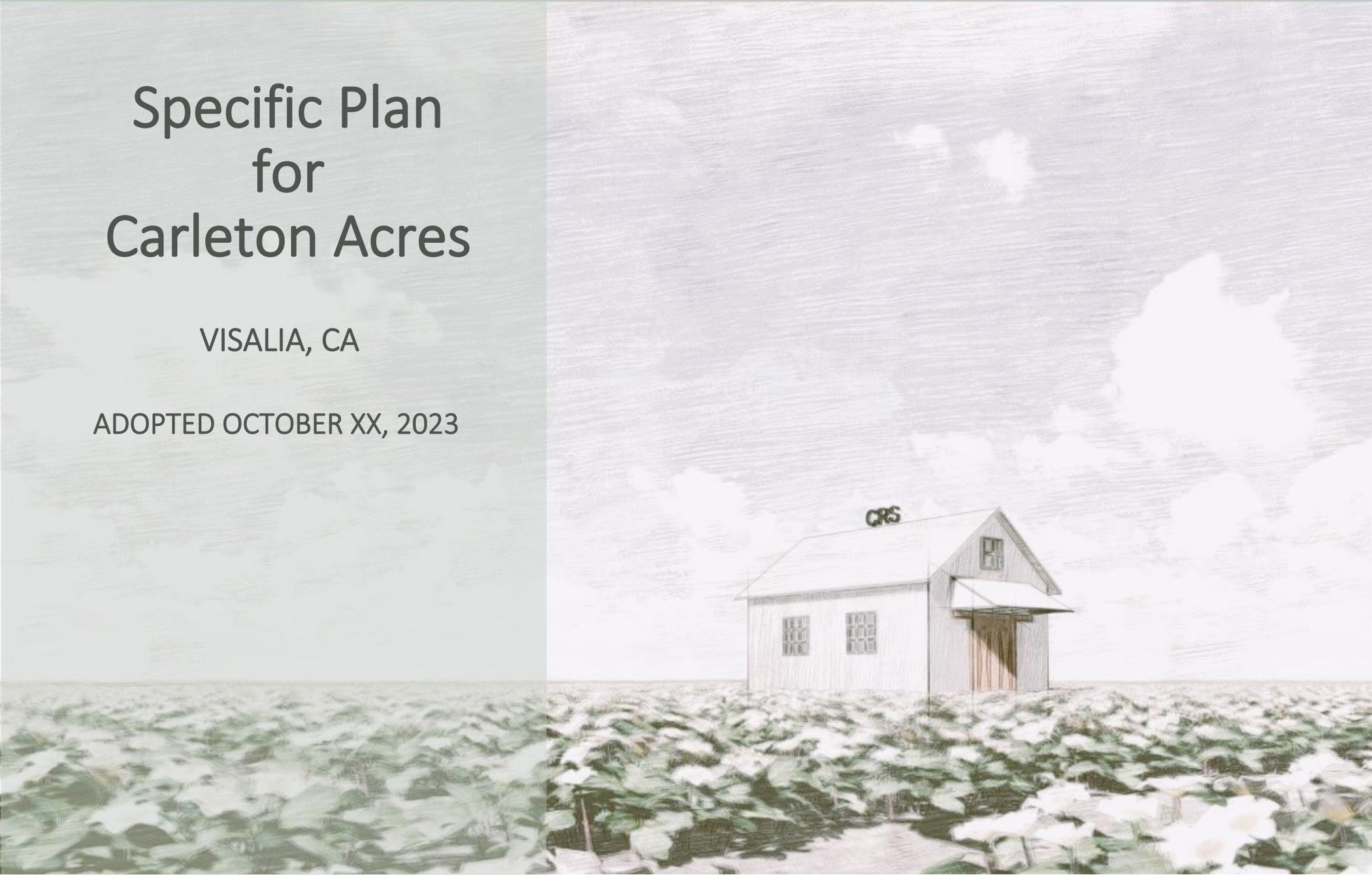


Specific Plan for Carleton Acres

VISALIA, CA

ADOPTED OCTOBER XX, 2023



Project Team

2.0

| | |
|------------------------|---|
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Special Thank you
Eric Shannon, The Shannon Family, Gary Artis

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Introduction

1.0

Carleton Acres has a rich history deeply rooted in agriculture. The property was originally owned and cultivated by Helen Hayes. Subsequently, it was purchased by Carleton Shannon, who had a strong farming background within the San Joaquin Valley. Carleton, also known as Dick, took over the land and continued its agricultural legacy.

Under Carleton Shannon's ownership, the land was used for a variety of agricultural activities. A significant portion of the property was dedicated to permanent wine grape cultivation and row crops like cotton and grains are also grown on the property.

Carleton Shannon's family has a long history in farming, indicating a generational commitment to agriculture in the region. Carleton himself had a profound passion for farming and the outdoors. He found great enjoyment in activities like hunting, fishing, and flying, which further connected him to the land and the natural environment. He was actively involved in the community, being part of various organizations, and his family held a special place in his heart.

The transition from agricultural land to a vibrant new community represents a significant step in the evolution of the area, honoring its history while embracing the vision for a thriving and inclusive neighborhood within the City of Visalia.



1.0 Introduction:

1.1 PROJECT SUMMARY

Carleton Acres is a 507-acre new community situated in the northern part of the City of Visalia, located in Tulare County. See Figures 1.A and 1.B. As a master-planned mixed-use community, Carleton Acres is designed to have its own distinct identity within Visalia while fostering a strong neighborhood character and promoting pedestrian-friendly activities.

Carleton Acres incorporates a mix of land uses, such as residential and commercial areas. The commercial zones are planned to serve the needs of both the neighborhood and the broader north Visalia area, enhancing the overall livability and economic vitality of the region.

In response to the demand for affordable housing and single-family residences in the City of Visalia, Carleton Acres is designed to accommodate these needs. The presence of the existing Ridgeview Middle School, a planned high school, and an elementary school enhances the appeal of the area for residential growth, making it an ideal location for families and individuals seeking a desirable living environment.

The development objectives of Carleton Acres are shaped by a consideration of the community's requirements, the potential of the site, and the long-term goals outlined in the City of Visalia's 2030 General Plan. By aligning with the city's broader vision, the development of Carleton Acres is more likely to contribute positively to the overall growth and prosperity of Visalia.

Overall, Carleton Acres represents an opportunity for the City of Visalia to create a well-planned, inclusive, and thriving community

that meets the needs of its residents and enhances the city's overall quality of life.

1.1.1 Objectives

The following are the Carleton Acres objectives:

- To provide a mixed-use development at pricing appropriate for the market, in a growing area of the City of Visalia that satisfies the City of Visalia's policies, regulations and expectations as defined in the City's General Plan, Zoning Ordinance and other applicable plans, documents, and programs adopted by the City.
- To provide a variety of housing opportunities with a range of densities, styles, sizes and values that will be designed to satisfy existing and future demand for quality housing in the area.
- To provide a residential development that assists the City in meeting its General Plan and Housing Element requirements and objectives.
- To provide conveniently-located commercial development to serve north Visalia residents and the Carleton Acres development in a growing area of the City of Visalia.
- To provide a sense of community and walkability within the development through the use of street patterns, parks/open space, landscaping and other project amenities.

1.1.2 General Plan Vision

The success of Carleton Acres as a new community relies on several critical factors to ensure its compatibility, planned growth, collaboration between the Developer and the City of Visalia, and adherence to the City's General Plan goals.



- **Compatibility with Surrounding Land Uses:** The development of Carleton Acres must take into consideration the existing and planned land uses in the surrounding areas. This includes the nearby school site and existing residential neighborhoods to the south and east. Ensuring that Carleton Acres integrates seamlessly with its surroundings will contribute to a harmonious and well-integrated community.
- **Phased Growth:** The project should be carefully planned with a phased approach. Phase 1 should focus on initial development while ensuring that infrastructure and amenities are adequately established. As the community grows, Phase 2 towards the north can be implemented. This approach allows for orderly and controlled expansion while maintaining the quality of development.
- **Cooperative Working Relationship:** Collaboration between the Developer and the City of Visalia is essential for the successful implementation of Carleton Acres. Cooperation between both parties will help address challenges and ensure that the project aligns with the city's vision and requirements.
- **Implementation of General Plan Goals:** Carleton Acres must align with the goals, objectives, and policies outlined in the City of Visalia's General Plan. This ensures that the community's development is in line with the city's long-term vision and planning priorities. Adhering to the General Plan also helps maintain consistency with other planning documents and promotes sustainable and well-balanced growth.

By addressing these key factors, Carleton Acres can establish itself as a well-planned, compatible, and integrated community that fosters a

high quality of life for its residents while contributing positively to the broader City of Visalia's vision and objectives.

1.1.3 Specific Plan Vision

- The development of Carleton Acres as a complete community is characterized by its comprehensive approach to providing a wide range of facilities and amenities: residential neighborhoods, mixed-use commercial, neighborhood commercial, existing middle school, planned high school, future elementary school and a complete system of parks & bike paths.
- At full buildout uses will be linked by a bike path along Modoc Greenway, pedestrian and vehicle circulation and utility networks.
- The site plan and circulation network of Carleton Acres are thoughtfully designed to prioritize pedestrian use and create a walkable community. This approach aims to enhance the quality of life for residents by providing easy access to various amenities and destinations within the neighborhood.
- At the heart of Carleton Acres lies the residential neighborhoods, forming the central focus of the community. These neighborhoods are designed to be diverse, offering a wide range of housing options to accommodate different lifestyles and preferences. The overall goal is to create a community that reflects the character and quality of Visalia while adhering to the objectives outlined in the City of Visalia's 2030 General Plan.
- Mixed-use commercial areas within Carleton Acres adds a vital component to the community's overall functionality and attractiveness. These commercial spaces are designed to accommodate a diverse range of businesses and services,



meeting the needs of both Carleton Acres residents and the broader Visalia community.

- Neighborhood commercial retail and restaurants within Carleton Acres serves as a valuable amenity for both the residents of the community and the surrounding neighborhoods in northwestern Visalia.
- Community and publicity-oriented facilities will include three schools, passive and active parks of varying sizes and sites.
- The attractive landscape design throughout the open spaces in Carleton Acres plays a crucial role in unifying the entire community and creating a cohesive and inviting environment. The landscape design is carefully planned to enhance the aesthetics of the community while fostering pedestrian enjoyment, community interaction, and recreational opportunities.
- The landscape design along the existing Modoc Ditch and proposed bioswales is important as it not only preserves the ecological significance of the Ditch but also enhances its functionality and aesthetic appeal. In preserving the important role of the Ditch, it will be enhanced with riparian landscaping along the bioswales and a bike/walking path connecting one side of the development to the other.



Figure 1.A
Regional Location Map

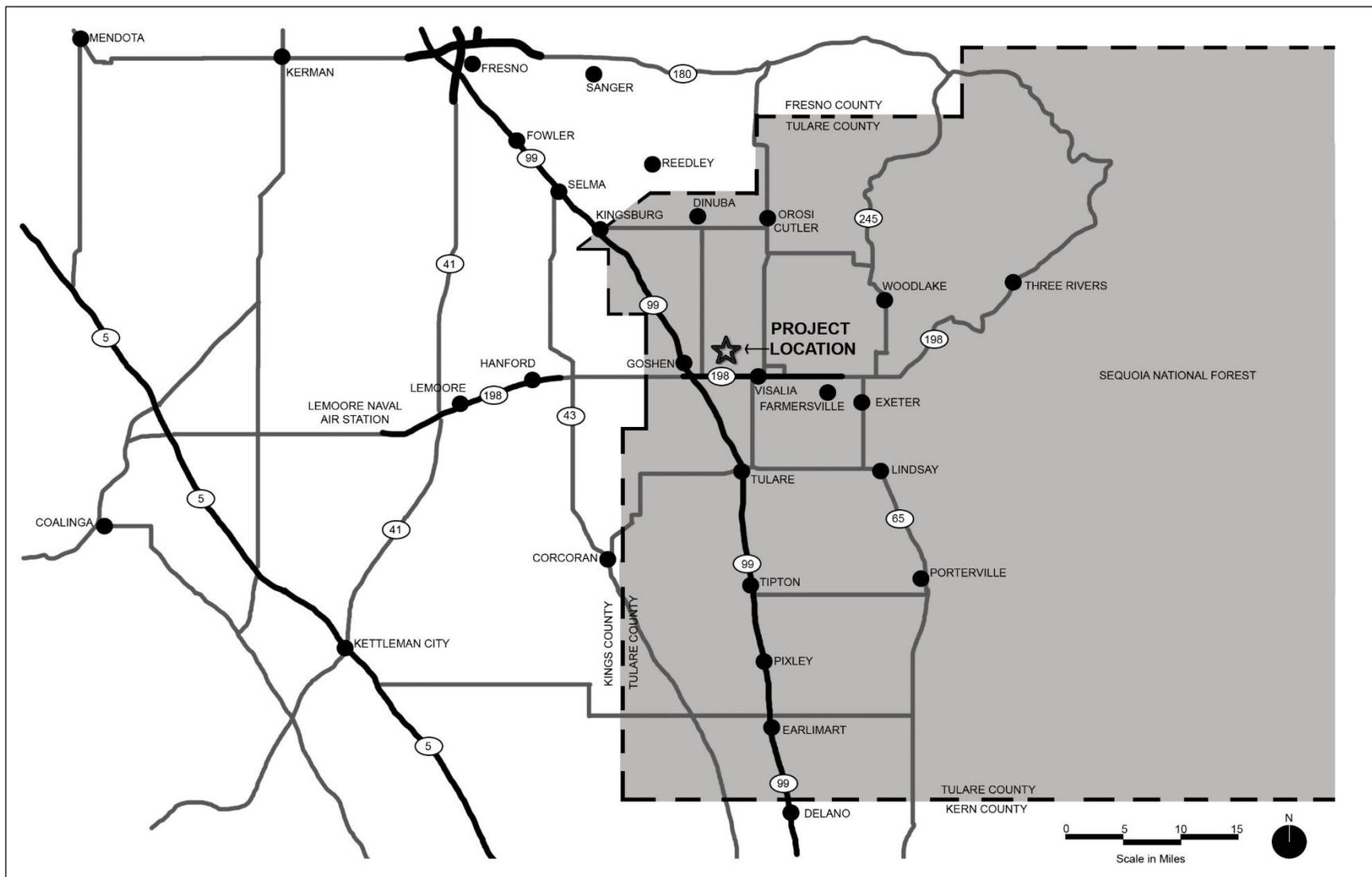
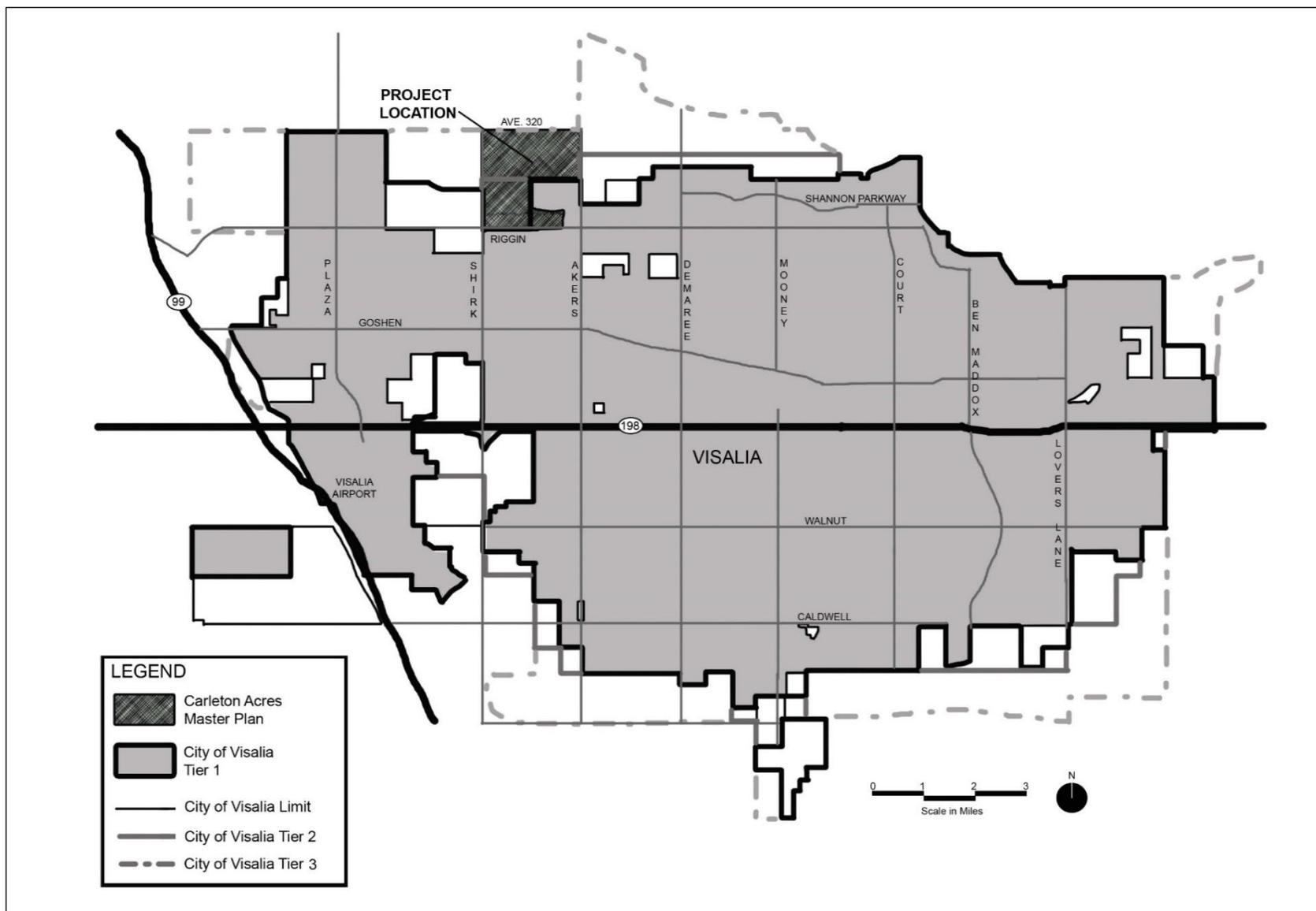


Figure 1.B
City Boundary
Map



1.2 PURPOSE OF SPECIFIC PLAN

The Carleton Acres Specific Plan is a comprehensive planning document provided to the City of Visalia to guide the development of the Carleton Acres new community. It outlines the guidelines and regulations for land use and sets the vision and goals for the future development of the area.

The Specific Plan includes a conceptual land use plan as well as other development standards. The intention is for the Specific Plan to be consistent with the goals, objectives, and policies of the City of Visalia's 2030 General Plan. Future development will utilize the Specific Plan's vision and goals. As developments progress the multi-use communities shall be cohesive and desirable.

The Specific Plan establishes standards and ideas for development. Design and engineering of the infrastructure and projects throughout Carleton Acres will be required. Throughout this document, the Carleton Acres Specific Plan may also be alternately referred to as the "Specific Plan" or "Plan."

The Carleton Acres Specific Plan serves as a critical tool for developers, city officials, and other stakeholders to ensure that the future growth and development of the Carleton Acres community follow a well-defined and coordinated path. By adhering to the plan's vision and goals, the community will become a cohesive and desirable place to live and work.

1.3 LEGAL

1.3.1 Contents

This Specific Plan contains information and diagrams that provide detail for the following:

- Location of land uses within the Specific Plan area.
- Development standards, design guidelines and phasing.
- Location of streets, sewage, drainage, water, and other facilities planned to support the land uses within the Specific Plan.
- Implementation measures including responsibilities, approvals and financing.

The Carleton Acres Specific Plan includes the layout and location of land uses as well as streets allowed in the Specific Plan. When land uses are sub-divided, the developers shall provide detailed subdivision maps that will include street alignments and residential lot configurations.

1.3.2 Conformity

The Carleton Acres Specific Plan conforms with City of Visalia's 2030 General Plan and the California Government Code.

1.3.2.1 City of Visalia's 2030 General Plan:

The Carleton Acres Specific Plan aligns with the City of Visalia's 2030 General Plan, which serves as the comprehensive guide for community development across the entire city. The Plan consists of nine chapters: land use, circulation, open space, conservation, noise, safety, air quality and greenhouse gases. It also includes historic preservation and parks, schools, community, and utilities.

- Policy LU-P-21 allows an approved master-planned site to be annexed before development is permitted in Tier 2 or Tier 3. Annexations are to be reviewed with the regulations and polices in the Cortese-Knox-Hertzberg Local Governments Reorganization Act of 2000 and the Tulare County Local Agency Formation Commission Policy and Procedure Manual regarding development and inventory of existing vacant land designed for urban uses in the city limits.
- LU-P-22 allows for City Council to approve master-planned developments for sites under single ownership or unified control, which may include developable land within multiple Tiers. The Development Agreement is a separate document that details the overall development, density, phasing, infrastructure needs and financing. As well as outlines the responsibilities of each party. The Development Agreement and the Specific Plan have a consistent vision with Visalia’s General Plan and the City’s interest in growth through phasing.
- LU-O-16 the Specific Plan will provide a high quality of life ensuring that each Low Density Residential neighborhood is complete, is walkable to parks, and has a range of housing types. Carleton Acres will be its own unique community character that is inspired by Visalia.
- T-P-49 the purpose to minimize student crossings of major arterial streets and facilitate students’ safe travel to school on foot. The existing, planned and future school site’s circulation has been a focus to make circulation a success for the school sites and residents. The circulation also connects to existing residential south of the project.
- T-P-3 is the objective to design and build future roadways that complement and enhance the existing network. Streets shall be continuous for the vehicular and pedestrian network. Local streets shall be narrow and have traffic slowing features at intersections.
- T-P-41 integrate a bicycle transportation system into new developments. The Modoc Ditch along N. Akers St. and Shannon Parkway will provide a trail for bikes and pedestrians. The pocket parks and trails throughout Carleton Acres will satisfy the general plan objective of having different recreation amenities for all ages. The green spaces promote health and wellness throughout the community.
- The Specific Plan addresses the 6 statements about new neighborhood development:
 - LU-O-22 encourages compact developments that allow local streets within new developments to be self-sufficient.
 - LU-O-20 planned density allows for new development to be self-sufficient, paying for infrastructure & open space.
 - LU-O-25, LU-P-48 ensures interconnected local street, pedestrian and bicycle circulation.
 - LU-O-23 provides a range of housing types and prices.
 - PSCU-P-7 amenities for all residents with open space and parks.
 - Lastly provide additional revenues that would support all services within the area to be developed.

1.3.2.2 California Government Code:

The Carleton Acres Specific Plan has been established with the requirements of California Government Code Sections 65450-65457

Article 8 Specific Plans. A Specific Plan allows an area to be developed whose development guidelines replace any prior zoning. A greater level of detail adds value to the community area. Specific Plans shall contain text and diagrams specifying all of the following in detail:

- Location and extent of land uses including open spaces.
- Location and extent of major infrastructure to support land uses.
- Standards and criteria for development.
- Program of implementation measures.
- A statement of the correlation of the Specific Plan to the General Plan.
- Any other subjects by the planning agency for the purpose of the General Plan.

1.3.3 Environmental Impact Report

The Environmental Impact Report certified for Carleton Acres is the only environmental document for the Specific Plan and all individual projects within the Specific Plan area. The City of Visalia, as the Lead Agency, prepared the EIR in accordance with the California Environmental Quality Act. An Initial study, Negative Declaration, or other environmental analysis are not required for individual projects within Carleton Acres Specific Plan.

1.3.4 Approval Authority

The City of Visalia has authority for approval of the Specific Plan as a whole and approval of the individual development projects within the Specific Plan. Approvals requested from the City may include but are not limited to:

- Approvals related to the Specific Plan as a whole:

- Approval of the Specific Plan and amendments to the Specific Plan.
- Approval of Development Agreement
- General Plan Changes
- Zone Changes
- Approval of Lot Line Adjustments
- Approvals related to individual development projects within the Specific Plan Area:
 - Tentative Subdivision Maps
 - Commercial Tentative Parcel Maps
 - Amendments to the Specific Plan
 - Annexations
 - Building and Grading Permits
 - Major and Minor Modifications to Specific Plan

1.3.5 Boundaries

Figure 1.B indicates the legal boundaries referred to by the Specific Plan.

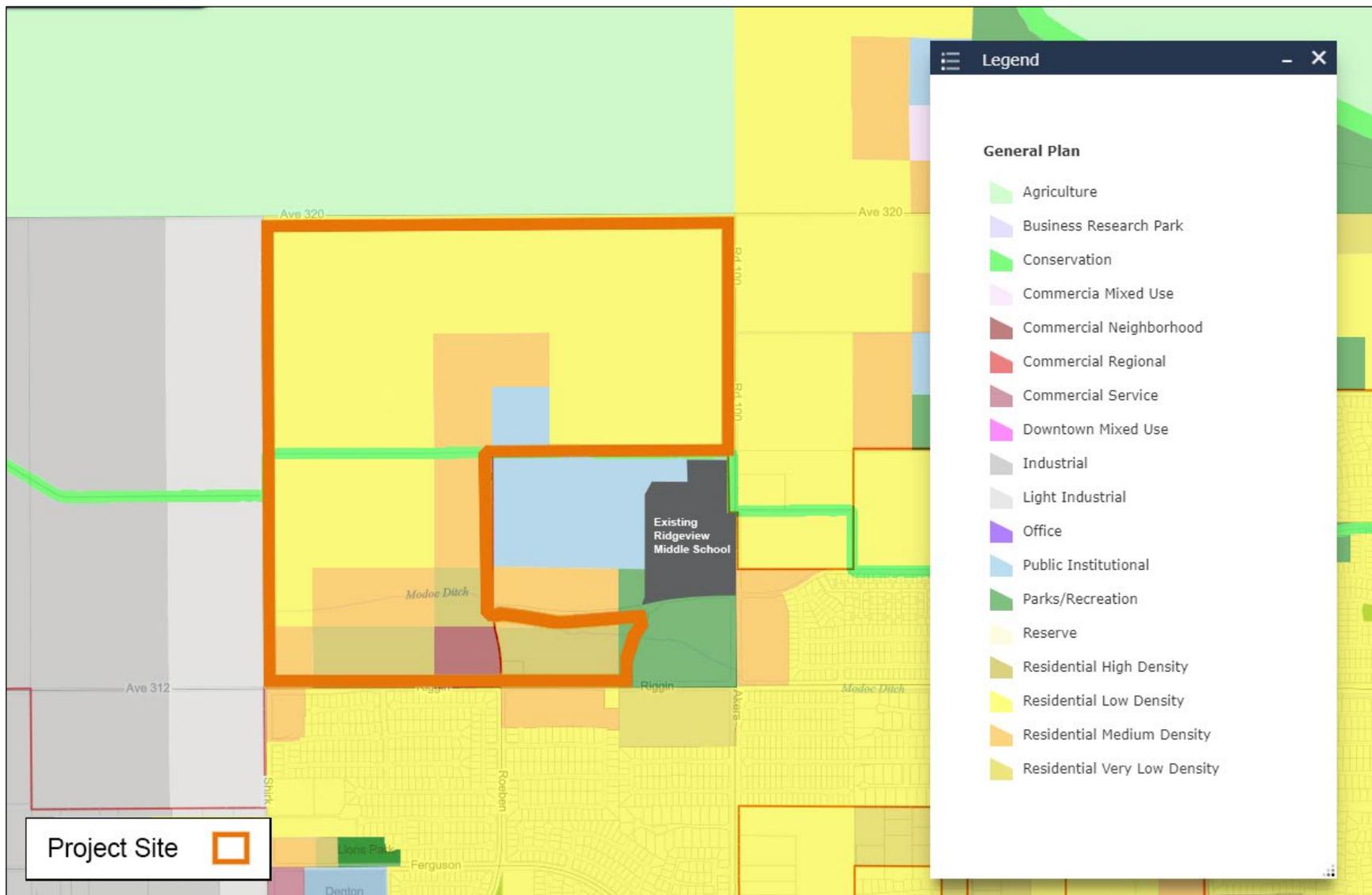
1. *City of Visalia Boundaries:* Approximately 29.3 acres (APN: 077-100-105) of the project site are located within the City of Visalia. The remaining 478 acres (APN: (APN: 077-100-088) of the site are outside the City limits in unincorporated territory, County of Tulare.
2. *City of Visalia Sphere of Influence Line (Urban Growth Development Tiers):* The entire Carleton Acres site is located within the City of Visalia's Urban Growth Development Tiers and the Sphere of Influence Line for the City of Visalia. Approximately 29 acres are located within Tier 1. Approximately 149 acres are located within Tier 2 and 329 acres located within Tier 3.

This Specific Plan will serve as the “zoning” entitlements for the site.

1.3.6 Visalia 2030 General Plan Land Use Designations

Exhibit 1.C. indicates the City of Visalia’s 2030 General Plan existing land use designations for the site. Carlton Acres is currently designated for development of Commercial Neighborhood, Residential Low Density, Residential Medium Density, Residential High Density and Public/Instructional. All land uses remain the same acre per acre with the addition of Mixed-Use Commercial (Residential Low Density was reduced) see Figure 2.C for proposed land use locations.

Figure 1.C
Existing General Plan Land Use Map



1.4 FORMAT OF THE SPECIFIC PLAN

The Specific Plan is formatted for Builders/Developers to reference information that they will need for public agency approval of all development projects within Carleton Acres. The Specific Plan has established design standards and procedures with the intent for Builders/Developers to provide design quality and a distinguished development, while also providing flexibility.

- *Section 1: Introduction:* The Introduction outlines the purpose of the Specific Plan and defines the authority of the Plan and its relationship to the City of Visalia 2030 General Plan.
- *Section 2: Project Description:* Describes the location and existing conditions. Also, proposed land uses are described by Phases.
- *Section 3: Land Use:* This section addresses the different land uses concepts, project boundaries and phases, land use designations, and development guidelines for each land use.
- *Section 4: Commercial:* This section outlines the development standards and design elements for the commercial areas of Carleton Acres in Phase 1 and Phase 2.
- *Section 5: Residential:* This section details the residential development concept, development standards and product types. It defines the character and guidelines for the Specific Plan's residential neighborhoods for Phase 1 and Phase 2.
- *Section 6: Landscape:* This section defines Carleton Acres' landscape design concept for the Specific Plan in its entirety, neighborhood parks, trails, Modoc Greenway and for the streetscapes. It concludes with landscape lighting and signage design standards and guidelines.

- *Section 7: Infrastructure:* This section describes the infrastructure components: vehicular circulation, grading, drainage, water, sewer, gas, electric and water quality, including storm water control.
- *Section 8: Implementation:* This section defines the responsibilities of the City, Master Developer, and Builder/Developer. It also includes the approval process and public financing.

Note that terms used throughout shall take their commonly accepted meaning. When there are conflicts between the definitions in the Specific Plan and Zoning Ordinance, those in the Specific Plan shall take precedence.

Project Description

2.0

The design of Carleton Acres will not only prioritize aesthetics but also serve as a meaningful tribute to the land's history and Carleton Shannon's farming legacy. By incorporating elements that reflect the area's agricultural heritage and his passion for farming, the community will be a distinctive and special place that honors its past while embracing its future.

The incorporation of design elements reminiscent of cotton hauling wagons and cotton gins adds a nostalgic and authentic touch to the overall landscape of Carleton Acres. This design choice not only pays tribute to the area's agricultural past but also contributes to the cohesive theme throughout the development.

Using light-colored stone in the landscape design, akin to the color of white cotton, further reinforces the homage to the crop that once flourished in the area. This choice of stone brings a soft and elegant touch to the surroundings, complementing the other design elements and creating a cohesive and harmonious environment.

By thoughtfully incorporating these design features that draw inspiration from the cotton industry's history, Carleton Acres creates a unique and evocative atmosphere that celebrates the region's agricultural heritage. The landscape and architectural choices intertwine with the community's identity, fostering a sense of pride and appreciation for the land's past while creating a beautiful and inviting place to call home.



2.0 PROJECT DESCRIPTION

2.1 Project Location

The proposed Project is located on approximately 507-acres in the northern area of the City of Visalia, California and is generally bound by W. Riggan Avenue to the south, N. Akers Street to the east, N. Shirk Road to the west and Avenue 320 (W. Kibler Avenue) to the north. The site is comprised of two parcels: APN 077-100-088 and APN 077-100-105. APN 077-100-088 consists of approximately 478 acres and is within an unincorporated area of Tulare County while APN 077-100-105 consists of approximately 29.3 acres and is within the City limits of Visalia. The entire site is within the Urban Growth Boundary (UGB) and Sphere of Influence (SOI) of the City of Visalia and the site has historically been used for agricultural purposes. However, the site has been designated by the City’s General Plan for residential, commercial, public/institutional and park/recreation uses. Refer to Figure 1.A: Regional Location Map, Figure 1.B: City Boundary Map, Figure 1.C: Existing Land Use Designations, and Figure 2.A: Aerial Site Vicinity Map

The project is located on significant intersections in the City of Visalia. W. Riggan Avenue serves as a connection between the industrial uses to the West and the residential and commercial uses to the East. As Visalia’s industrial area has expanded on the West, W. Riggan Avenue has become a major connecting point for residents. N. Shirk Road and N. Akers Street are also important arterial streets.

2.1.1 Existing Uses

The project site land is currently utilized for agricultural field crop production. The site is being farmed with a rotation of row crops and wine grapes.

The site is nearly level and because of its current agricultural production there is little natural vegetation. The elevation is approximately 306 to 314 feet above mean sea level.

2.1.2 Surrounding Land Uses

The proposed Project site is located in a developing area of the City of Visalia. Currently, Ridgeview Middle School is located adjacent to and west of Akers Street and would abut the proposed Project site. In addition, the City is currently planning a new high school that will be constructed adjacent to and west of Ridgeview Middle School and would be surrounded by the proposed Project to the north, west and south. Land uses of adjacent parcels surrounding the Project site are as follows:

Surrounding Land Uses

| Location | Existing Land Use |
|----------|---|
| North | Dairy Farm / Agriculture |
| South | Residential / Church / Water Storage Tank |
| West | Dairy Farm / Agriculture |
| East | Agriculture |



Figure 2.A
Aerial Site Vicinity Map



2.1.3 Circulation

W. Riggin Avenue is an arterial street that is very important in the north Visalia area to connect the east and west of the City. Currently Riggin is a two-lane street. The City of Visalia Circulation Element plans for Riggin Avenue to be four-lane street with median. Shirk and Akers are also two-lane streets that the City plans to be a four-lane street. Sedona Avenue is currently partially built with an existing roundabout.

2.2 URBAN GROWTH BOUNDARY TIERS AND PROJECT PHASING

The City of Visalia's General Plan includes a three-tier system to account for future growth (Tier 1, Tier 2 and Tier 3). Thresholds were set on residential permits, commercial square-footage, industrial square-footage and regional commercial square-footage. Tier 1 currently allows development to occur within the Tier 1 boundary, while Tiers 2 and 3 can be developed after certain thresholds are met during/after buildout of Tier 1. Under the City of Visalia's General Plan Policy LU-P-22, an approved specific-planned site can be annexed before development is permitted in Tier 2 or Tier 3. Annexations are reviewed within the context of the regulations and policies in the Cortese-Knox-Hertzberg Local Governments Reorganization Act of 2000 and the Tulare County Local Agency Formation Commission Policy and Procedure Manual regarding development and inventory of existing vacant land designed for urban uses in the City limits. The City of Visalia's General Plan Policy LU-P-22 allows the City Council to approve master-planned developments for sites under single ownership or unified control, which may include developable land within multiple Tiers. A Development Agreement will be prepared, which is a separate document that details the overall development, density, phasing,

infrastructure needs and financing, as well as outlines the responsibilities of each party. The Development Agreement and the Specific Plan have a consistent vision with Visalia's General Plan and the City's interest in growth through phasing. Figure 2.B identifies the City's Tier boundaries relative to the Project site.

The Project is proposed to be built out in two phases as identified in Table 2-1 and as shown in Figure 2.C. Although the exact timing of construction and buildout will be determined by market conditions, the Project Applicant and the City, it is anticipated that the Project would be built out over a +15-year period with approximately 100 low-density residential units per year on average with the remaining buildout to be determined by demand.

2.3 PROPOSED LAND USE, OPEN SPACE, UTILITIES AND IMPROVEMENTS

The Project Applicant is proposing a Specific Plan to develop approximately 507-acres of land into a mixed-use development. The Project will feature a variety of uses including single-family residential, multi-family housing, commercial, educational, and parks/trails facilities. The proposed Project components are described below. Refer also to Table 2-1: Summary of Proposed Land Uses and Figure 2.C: Conceptual Use Plan.

Residential

The proposal features several different types of housing for a total of up to 3,262 residential units at buildout which is broken down as follows:

- Low Density Residential: Up to 1,592 units
- Medium Density Residential: 758 units
- High Density Residential: 912 units



It should be noted that the number of proposed units for low density residential portion of the development may be lower than 1,592 units depending on final configuration of the lots. In addition, the 13.0 acres currently shown in Figure 2.B for a new elementary school could potentially be converted to low density residential. Therefore, for purposes of providing the maximum number of potential residential units, a total of 65 units was added to the total for both phases (13.0 acres X 5.0 units per acre = 65 units) for a maximum development potential of 1,592 low density units.

Commercial

The proposed Project includes up to 35.1 acres of commercial development in two locations within the Project for a total of approximately 205,000 square feet of gross leasable commercial area. The commercial developments will occur in the proposed Mixed Use Commercial Zone and the Neighborhood Commercial Zone. The maximum size for a single or anchor tenant shall be 170,000 square feet within the Mixed Use Commercial Zone. The first commercial area consists of up to 28.7 acres of Mixed-Use Commercial at the intersection of Riggin Avenue and Shirk Road. Anticipated uses at this location may include development such as a Costco, gas station, car wash, drug store, retail, restaurants (including drive-throughs), and similar uses. The second consists of up to 6.4 acres of Commercial Neighborhood at the intersection of Akers and Ave. 320. Anticipated uses at this location may include development such as retail, services and restaurants. The commercial facilities are located to provide efficient accessibility to residents of the Project and the surrounding areas.

Other Project Components

Other proposed uses include approximately 13.0 acres for a potential site for a future elementary school, 17.3 acres for a drainage basin, and approximately 17.3 acres of parks/trails/recreational facilities. Various other infrastructure improvements (water, stormwater and wastewater infrastructure, roadway improvements, and related improvements) will be required by the Project. Refer to the descriptions of these components later in this Chapter.

The Project is proposed to be built out in two phases as identified in Table 2-1 and as shown in Figure 2.B. Refer to the subsection titled *Visalia Urban Growth Boundary Tiers and Project Phasing* for a description of proposed Project phasing.

Table 2-1
Summary of Proposed Land Uses

| Phase 1 | Total Acreage | Park / Rec Acreage* | Number of Units | Proposed Density |
|---|---------------|---------------------|-----------------|------------------|
| High Density Residential (APN: 077-100-088) | 9.7 | - | 146 | ~15 units/acre |
| High Density Residential (APN: 077-100-105) | 29.3 | 0.8 | 440 | ~15 units/acre |
| Medium Density Residential | 9.1 | 0.1 | 91 | ~10 units/acre |
| Low Density Residential | 100.9 | 2.6 | 505** | ~5 units/acre |
| Mixed Use Commercial | 28.7 | - | N/A | - |
| Phase 1 Total: | 177.7 | 3.5 | 1,182 | |

| Phase 2 | Total Acreage | Park / Rec Acreage* | Number of Units | Proposed Density |
|----------------------------------|---------------|---------------------|-----------------|------------------|
| High Density Residential | 21.7 | 0.2 | 326 | ~ 15 units/acre |
| Medium Density Residential | 66.7 | 3.4 | 667 | ~10 units/acre |
| Low Density Residential | 204.5 | 9.0 | 1,022** | ~5 units/acre |
| Neighborhood Commercial | 6.4 | 0.3 | N/A | - |
| Basin | 17.3 | - | N/A | - |
| Public/Institutional (or LDR)*** | 13.0 | 0.9 | N/A (or 65) | ~5 units/acre*** |
| Phase 2 Total: | 329.6 | 13.8 | 2,080*** | |
| Total for Both Phases: | 507.3 | 17.3* | 3,262*** | |

* Park / Recreation acreage is included within each land use designation's "total acreage".

** The number of proposed units for low density residential portion of the development may be lower than 1,527 units depending on final configuration of the lots.

*** Includes 65 units of low density residential in place of the 13.0 acre elementary school.

Figure 2.B
City's Tier Boundaries

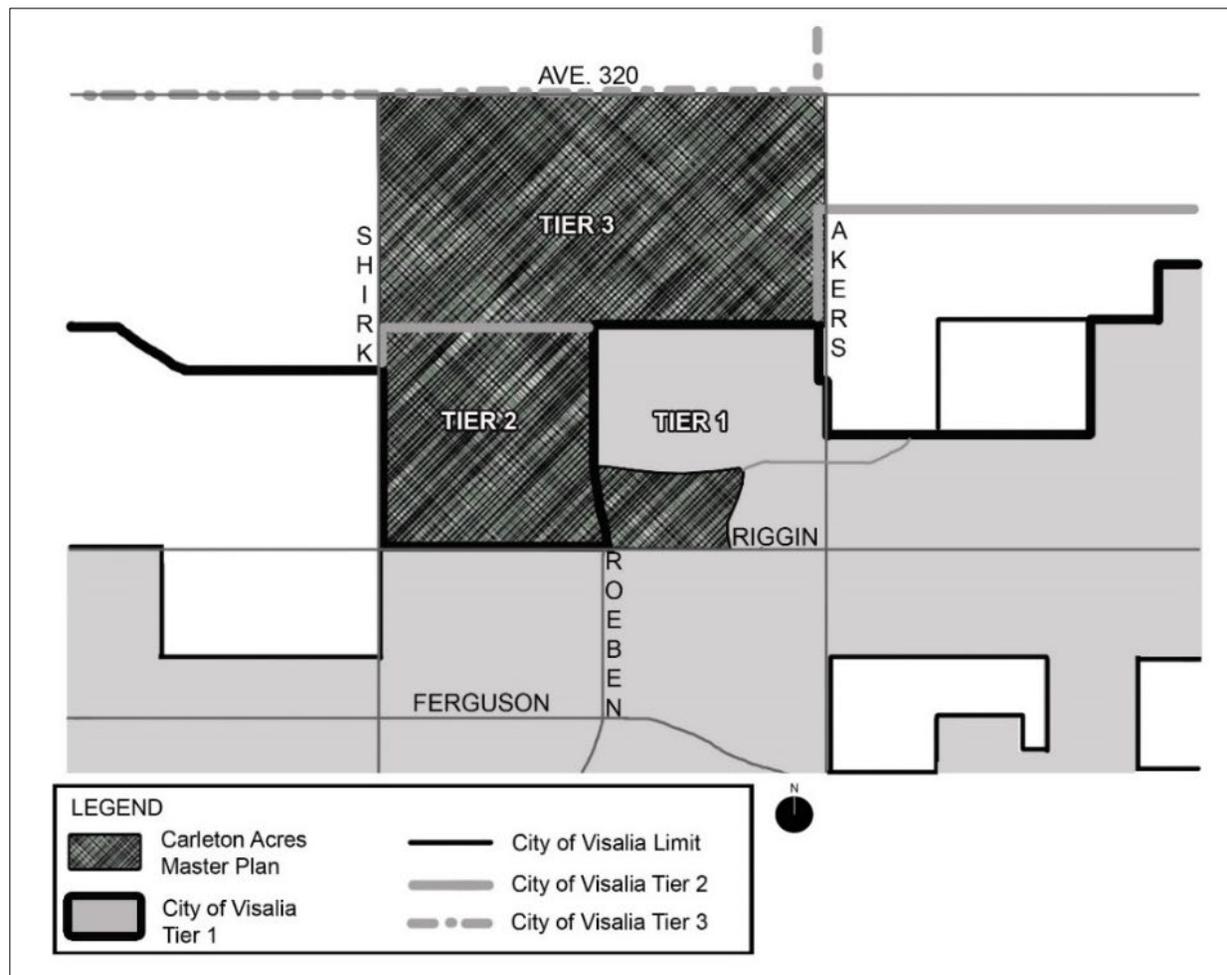
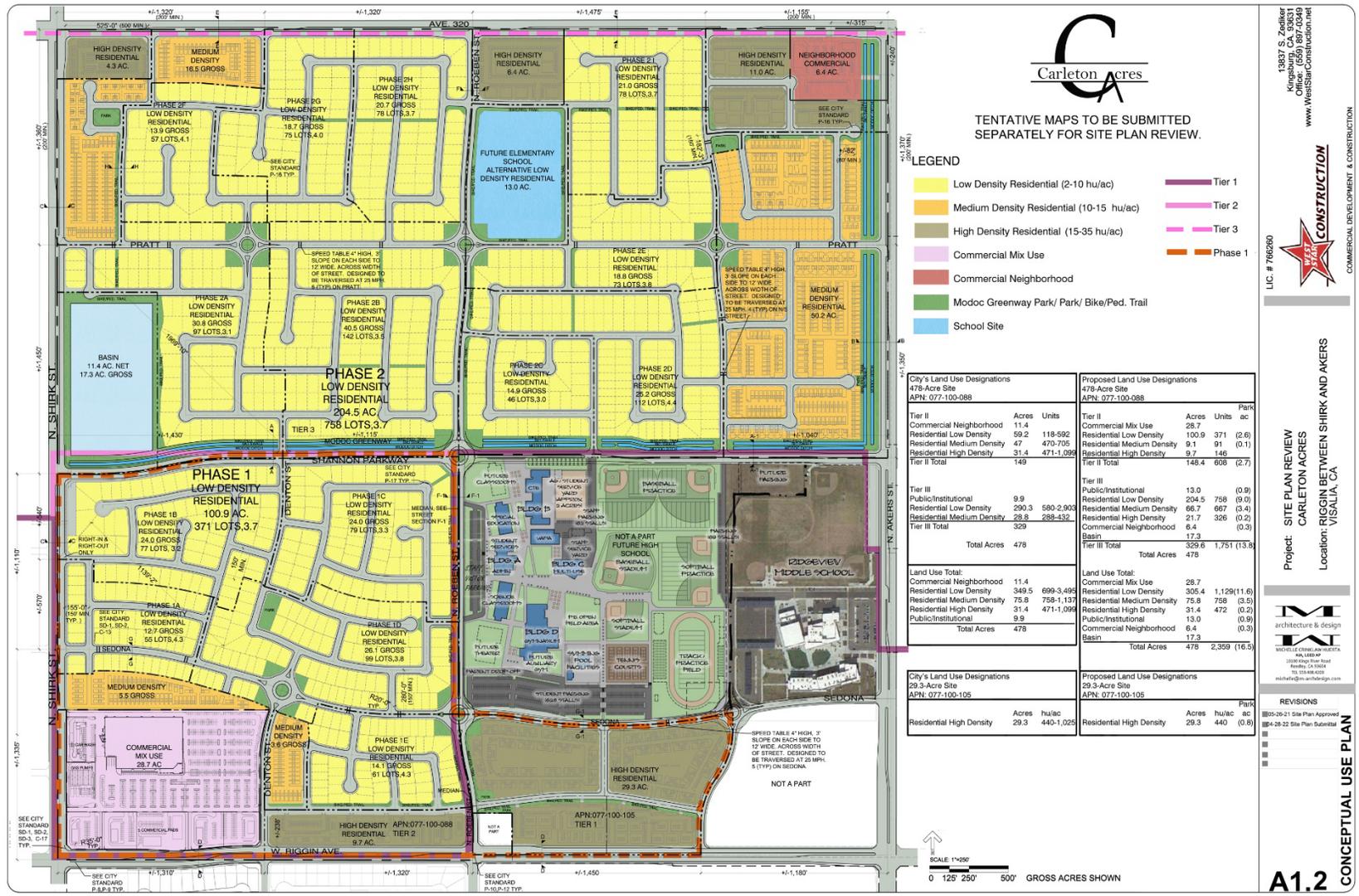


Figure 2.C
Conceptual Use Plan



2.3.1 Phase 1 Land Uses

Phase 1 includes all of APN 077-100-105 (29.3 acres) and a portion of APN 077-100-088 (148.4 acres). For APN 077-100-105, the site is within the Tier 1 boundary and is currently designated by the City's General Plan for High Density Residential. The Project intends to retain this land use designation and to develop the site as follows:

- 29.3 acres of High Density Residential (440 units)

For APN 077-100-088, Phase 1 development only includes the southern portion of the parcel (approximately 148.4 acres) and is included in the Tier 2 boundary. This portion is proposed to be developed with a variety of uses as follows:

- 9.7 acres of High Density Residential (146 units)
- 9.1 acres of Medium Density Residential (91 units)
- 100.9 acres of Low Density Residential (up to 505 units)
- 28.7 acres of Commercial Mixed Use

For APN: 077-100-088, the Low Density Residential housing will be constructed first. Proceeding into Phase 2 is only determined by the completion of Low Density Residential. It is not dependent on the completion of Medium and High Density Residential or Commercial uses.

2.3.2 Phase 2 Land Uses

Phase 2 includes the northern 329.6 acres of APN 077-100-088 and is within the Tier 3 boundary. This portion is proposed to be developed with a variety of uses as follows:

- 21.7 acres of High Density Residential (326 units)
- 66.7 acres of Medium Density Residential (667 units)

- 204.5 acres of Low Density Residential (up to 1,022 units)
- 6.4 acres of Neighborhood Commercial
- 17.3 acres of Basin
- 13.0 acres of Public/Institutional

The timing of development and installation of infrastructure for Phase 1 and Phase 2 will be identified in the Development Agreement.

2.3.3 Site Circulation and Access

The overall layout of the proposed Project is block form, with shortened roadway lengths and cul-de-sacs in order to provide limited thru-traffic and to create a walkable urban environment. The site has been designed with 13 points of ingress and egress. Additional access points will be provided for the commercial uses that are proposed to occur at the southwest corner and northeast corner of the site. The following is a summary of roadway improvements that will be required:

Arterials

W. Riggin Avenue, N. Shirk Road (Road 92), N. Akers Street (Road 100), and Avenue 320 are classified as arterial roads in the City's Circulation Element with a right-of-way of 110 feet. The arterials in the Plan Area will include two through-lanes of traffic in each direction, as well as a left-turn channelization when needed. When applicable, road right-of-way may be required for improvements at intersections to allow for right turn movements. Four arterials border the proposed Project with two existing lanes. When the project is fully developed Riggin will have four lanes. N. Shirk Road, N. Akers Street and Avenue 320 shall have three lanes, $\frac{3}{4}$ buildout. Widening



of W. Riggin Avenue, N. Shirk Road and N. Akers Street will be necessary with right-of-way dedications.

Collectors

Shannon Parkway and N. Roeben Street are designated as collectors and serve to connect arterial and local roadways within the Plan Area. Shannon Parkway and N. Roeben Street will feature two lanes of traffic (single lane in each direction) within a minimum 84-foot right-of-way.

Local Streets

The remaining streets within the Plan Area, including Sedona Avenue, are classified as local and will be developed to residential street standards. Most local streets within the Plan Area will have a right of way width of 60 feet. A combination of speed tables and roundabouts will be used as traffic calming devices.

The Project will be responsible for construction of internal roadways as well as for potential improvements to surrounding roadways to accommodate the Project. The Project also includes improvements and landscaping along the frontage roads and within the site itself.

2.3.4 Infrastructure

The Project will require connection to various City-operated utility and infrastructure systems. These include City-provided services such as sewer/wastewater, water and stormwater facilities. Non-City-provided infrastructure includes natural gas (to be provided by Southern California Gas Company) and electrical services (to be provided by Southern California Edison). The Project will be responsible for construction of connection points to the City's existing infrastructure. Proposed infrastructure improvements for sewer/wastewater, water and stormwater facilities are described in Section 7.0.

Utilities and Improvements by Phase

Below is a summary of utilities and improvements by Phase. See Section 7 for detailed information.

Phase 1

1. Extension of 42" sewer trunk line along Shirk from the Shirk and Riggin intersection. The sewer trunk line is to extend north to Phase
2. Extension of 12" water line from the Shirk and Riggin intersection. The water line is to extend north to Phase 2.
3. A 10" sanitary sewer main and appurtenances shall be extended from North Roeben Street, Shannon Parkway, and Sedona Avenue.
4. Extension of 8" water line along Shannon Parkway from Shirk to Roeben.
5. Installation of storm drainage facility. Partial completion of proposed storm basin located within Phase 2.
6. Installation of improvements along Shirk frontage to Phase 2. Including: Min. 6' tall block wall, 8' wide landscape, 5' wide side sidewalk, 6' wide path lane, 5' wide planter, curb/gutter, where applicable deceleration lane, (2) 11' travel lanes, median (18' wide) and 11' wide travel lane.
7. Installation of improvements along Riggin from Shirk to where improvements already in place West of Akers. Including: Min. 6' tall block wall at residential, 5' wide sidewalk, 6' wide bike path, 5' wide planter, curb/gutter, where applicable deceleration lane, (2) 11' travel lanes and 18' wide median.
8. Installation of improvements along Sedona at existing roundabout to Shirk. Including: 5' wide sidewalk, 5' wide planter, curb/gutter, 8' wide parking, (2) 12' wide travel



lanes, 8' wide parking, curb/gutter, 5' wide planter, 5' wide sidewalk.

9. Installation of improvements along Shannon Parkway from Roeben to Shirk. Including: Min. 6' tall block wall, 9' wide landscape, 6' wide sidewalk, 10' wide planter, curb/gutter, 5' wide bike lane, 5' wide buffer, 12' wide travel lane, 15' wide median and 12' wide travel lane.
10. Installation of improvements along Roeben from Riggin to Shannon Parkway. Including: Min. 6' tall block wall, 5' wide planter, 6' wide sidewalk, 6' wide bike trail, 5' wide planter, curb/gutter, 8' wide parking, 12' wide travel lane, 11' wide median and 12' wide travel lane.
11. Installation of three roundabouts: Shannon Parkway and Roeben, Sedona and Denton, and Roeben and Sedona.

Phase 2

1. Extension of 42" sewer trunk line along Shirk to Ave. 320.
2. Extension of 36" sewer trunk line along Ave 320 from Shirk to Akers.
3. A minimum 10" sanitary sewer main and appurtenances shall be extended along Pratt from Shirk to Roeben.
4. Extension of 12" water line along Shirk to Ave. 320. Ave 320 between Shirk & Akers and Akers from Shannon Parkway to Ave 320.
5. Completion of proposed storm basin located within Phase 2.
6. Installation of improvements along Roeben from Shannon Parkway to Ave. 320. Including: 6' tall block wall, 5' wide planter, min. 6' wide sidewalk, 5' wide planter, curb/gutter, 8' wide parking, 5' wide bike lane, 12' wide travel lane, 11' wide median, 12' wide travel lane, curb/gutter, 5' wide planter, 6' wide bike trail, 6' wide sidewalk, 5' wide planter and min. 6' tall block wall.
7. Installation of improvements along Shirk frontage. Including: Min. 6' tall block wall, 8' wide landscape, 5' wide sidewalk, 6' wide bike path, 5' wide planter, curb/gutter, where applicable deceleration lane, (2) 11' travel lanes, median (18' wide) and 11' wide travel lane.
8. Installation of improvements along Shannon Parkway from Roeben to Akers. Including: 12' wide travel lane, 15' wide median, 12' wide travel lane, 8' wide parking, 5' wide planter, 6' wide sidewalk, 10' wide ditch access & decomposed granite walking path, existing 19' wide Modoc Ditch, 12' wide ditch & police access, 18' wide bioswale, 12' wide class 1 bike trail, 6' wide planter and min. 6' tall block wall.
9. Installation of improvements along Akers to Ave. 320. Including: 6' wide planter, 12' wide class 1 bike trail, 18' wide bioswale, +/-12' wide ditch & police access, existing 32' wide Modoc Ditch, +/-10' wide ditch access and walking path, 5' wide sidewalk, 5' wide bike path, 5' wide planter, curb/gutter, (2) 12' travel lanes, median (18' wide) and (1) 12' travel lane.
10. Installation of improvements on Ave. 320 from Akers to Shirk. Including: Min. 6' tall block wall, 8' landscape, 7' wide sidewalk, 6' wide bike path, 5' wide planter, curb/gutter, where applicable deceleration lane, (2) 12' travel lanes, median (18' wide) and (1) 12' wide travel lane.
11. Complete the installation of improvements along Shannon Parkway from Roeben to Shirk. Including: 8' wide parking, curb/gutter, 5' wide planter, 6' wide sidewalk, 10' wide ditch access & decomposed granite walking path, existing 19' wide Modoc Ditch, 12' wide ditch & police access, 18' wide bioswale, 12' wide class 1 bike trail, and 6' wide landscaping.



2.3.5 Parks, Trails and Open Space

The Project will provide a variety of public recreational facilities, including trails within the development that will be accessible by the public. A Landscaping and Lighting Act Assessment District shall be formed, prior to recordation of the final map. The purpose is for the maintenance of the landscaping, fences and/or walls along the public street frontages and open space areas of the subdivision. The Landscape and Lighting Act Assessment District shall include the operational and maintenance cost for the street lights within the subdivision and along streets abutting the subdivision. The Landscape and Lighting Act District shall include the provisions for the City to collect payment from the subdivider to cover the estimated cost to operate and maintain the improvements of the District prior to assessments occurring on the property tax roll.

Refer to Figure 2.D for the general location of the proposed recreational facilities, which are described as follows:

Modoc Greenway

Modoc Ditch is an existing site feature at Ave. 320 and Akers to Shannon and Akers, then running east/west through the center of the site north of Shannon Parkway. A trail will be installed along the existing Modoc Ditch. The trail will be located north of Shannon Avenue and the existing Modoc Ditch. Modoc Greenway will be installed along Akers Street, immediately west of the roadway and the existing Modoc Ditch. The Greenway will include a Class 1 bike trail with landscaping on either side and tree clusters will provide shade for the users. The Modoc Greenway will connect to the nearby basin trail. The trail will provide a route for residents to access school sites, commercial areas and neighborhoods throughout Carleton Acres.

Trails

The network of trails proposed by the Project will provide convenient walking and biking options for residents to connect throughout Carleton Acres. Modoc Greenway is the main east/west and north/south trail facility within the development and will serve as a connection point for other smaller trails. As described above, Modoc Greenway will be a Class 1 bike trail with landscaping on either side. Other trails throughout Carleton Acres will be 22' wide (6' walking & 6' bike lane with 5' landscaping on each side). These trails are as follows:

- Trail to connect the proposed high school to the future elementary school site (north & south) within the development.
- Trail to connect the future elementary school to Modoc Greenway to the east.
- Trail along Roeben to connect the future elementary school and proposed high school, to the medium and high density residential along Riggins and to the commercial center at the northeast corner of Riggins and Shirk.
- Around the basin, a trail will connect Modoc Greenway to the high-density development in the northwest corner of the site.

Parks

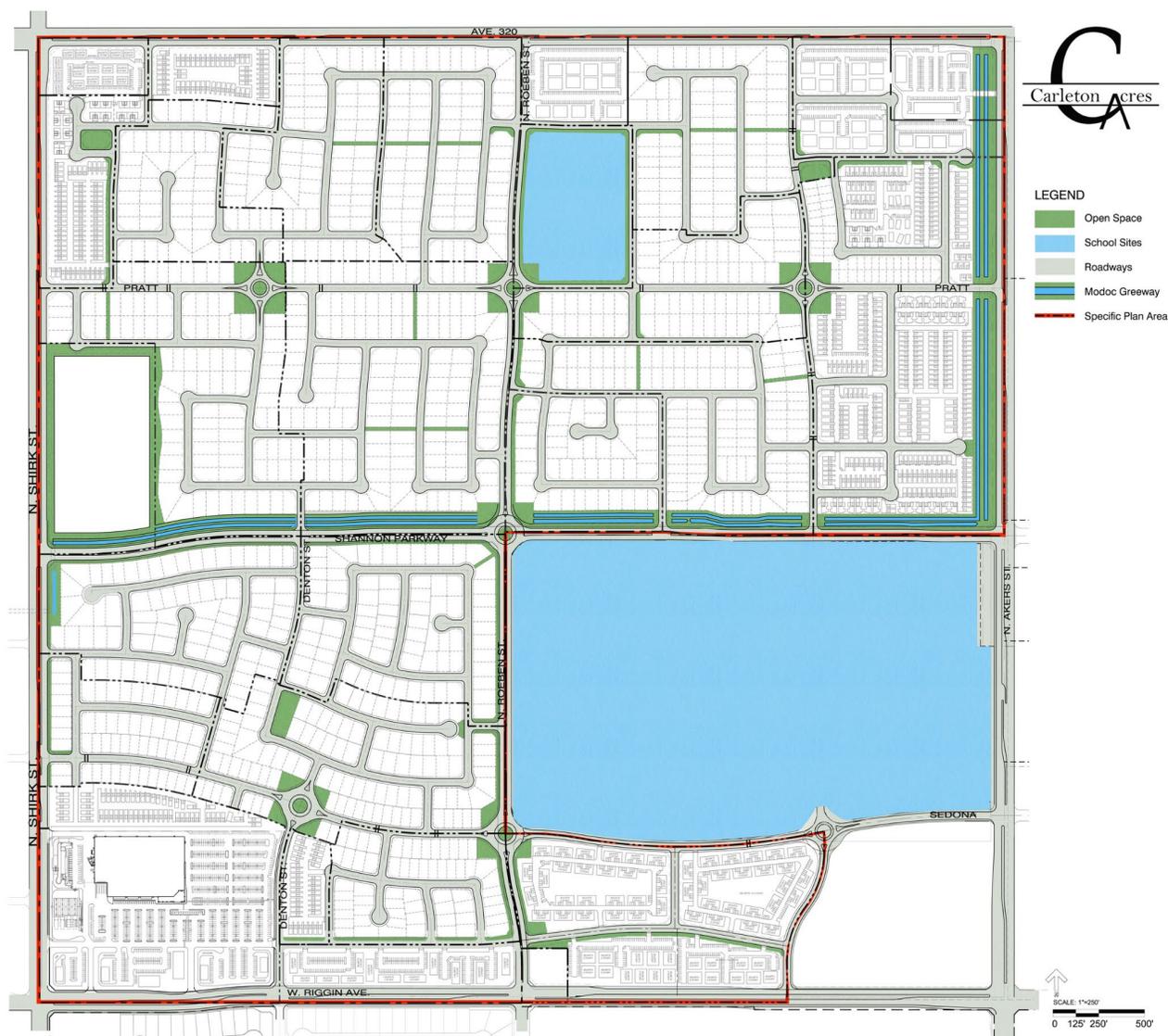
Parks within residential neighborhoods will range from 0.5 to 1 acre in size. Parks may be within a neighborhood or be located along the Modoc Greenway. Each park may include an open grass space,



playground, picnic area, barbeque grills, seating, and drinking fountain. Shade trees will be provided and, where possible, drought-tolerant/native species will be encouraged. Parks will be located and designed to provide social activities within the development.

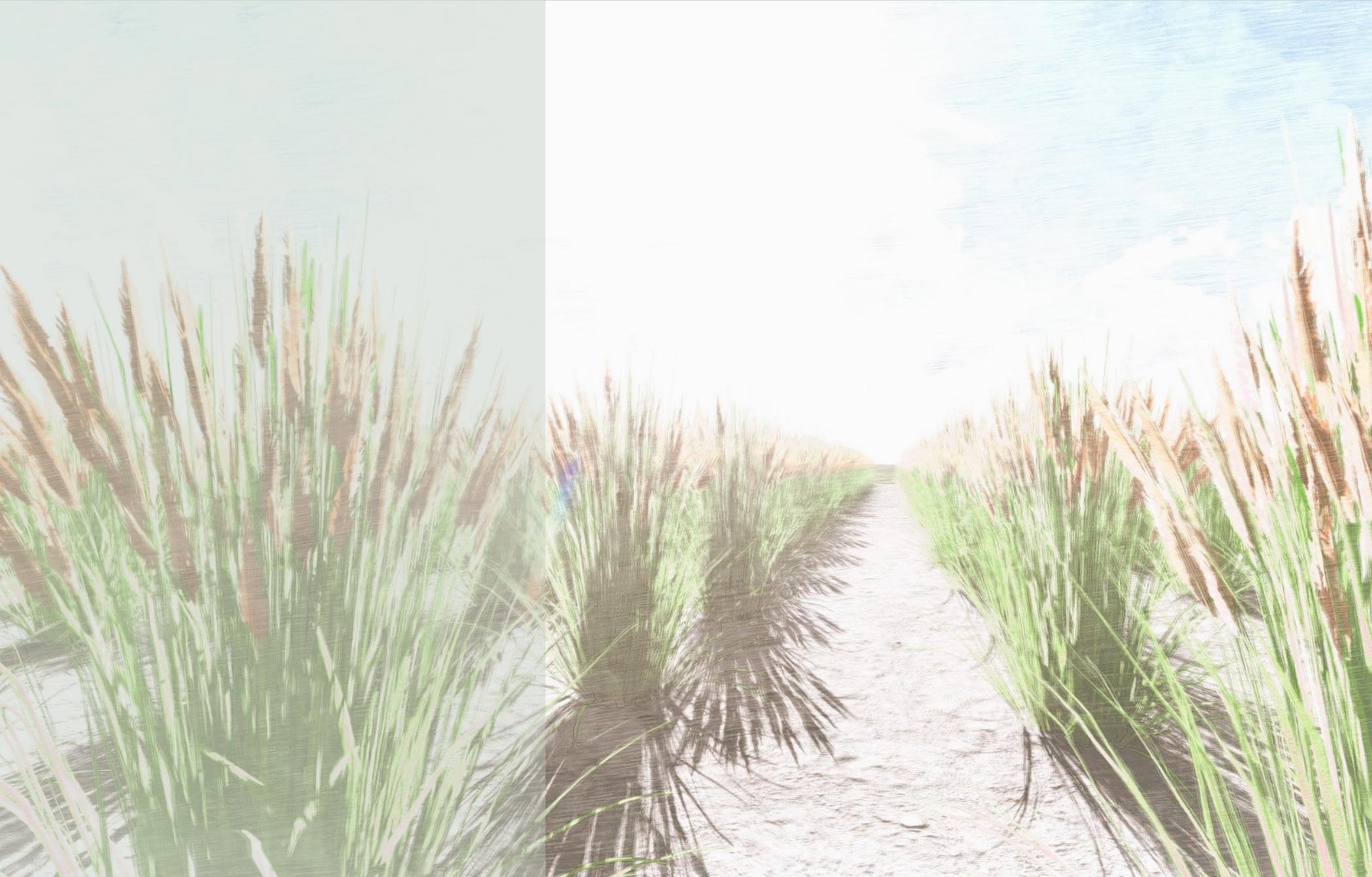


Figure 2.D
Open Space Plan



Land Use

3.0



3.0 Land Use

3.1 INTRODUCTION

This Section defines the Carleton Acres land use concept and Specific Plan Area Boundaries and Phases. Each land use discussed in Section 3 has defined allowable development including square footage and maximum allowable dwelling units for the Project as a whole and the range of types of units.

3.2 LAND USE CONCEPT

The Carleton Acres Project provides a broad and balanced mix of residential, commercial, educational and open space uses serving an expansive range of local users. Figure 2.C is the conceptual use plan of Carleton Acres in accordance with the standards of the Specific Plan.

3.2.1 Residential Community

Number of Units: Up to 3,262 residential units will be permitted by the Specific Plan. These units will serve the City of Visalia as a considerable new housing resource for people with a range of incomes and lifestyles.

Permitted Residential Land Uses: Three categories of permitted residential land uses are defined in the Conceptual Use Plan, Figure 2.C.

- Residential: Low (densities between 2 and 10 dwelling units per gross acre.)
- Residential: Medium (densities between 10 and 15 dwelling units per gross acre.)

- Residential: High (densities between 15 and 35 dwelling units per gross acre.)

The term “gross acre” is defined as an acre area of land which includes in measurement of public street or other areas to be dedicated or reserved for public use.

Location of Residential Densities: Multi-unit housing with the greatest density shall be located along the arterial streets. Single-family detached homes shall be located within the center of Carleton Acres.

Residential Product Types: Within each residential land use category, six product types ranging from single-family detached to multi-family will be allowed. This will provide a full range of housing prospects within Carleton Acres.

Residential Neighborhoods: The residential neighborhoods are designed to be walkable and connected to amenities throughout Carleton Acres.

3.2.2 Commercial Uses

Permitted Commercial Land Uses: The project may include up to 205,000 square feet of gross leasable commercial area. The commercial developments occurring in the proposed Mixed-Use Commercial Zone and the Neighborhood Commercial Zone are defined by the Conceptual Use Plan, Figure 2.C.

Location of Commercial Uses: The project’s major commercial uses shall be along W. Riggin Ave. This location will serve the daily shopping needs of the residents of Carleton Acres and its surrounding neighborhoods. The commercial spaces shall also

service those who commute between their homes in North Visalia and the industrial work opportunities to the West.

Commercial Building Types: The types of commercial uses permitted within Mixed-Use and Neighborhood Commercial are defined in Section 4.

3.2.3 Public Uses

The Permitted public uses indicated by the Conceptual Use Plan are:

- Open Space: Modoc Greenways
- Open Space: Water Storage/Recharge Basins
- School

3.2.4 Circulation Concepts

Carleton Acres circulation system consists of four primary elements:

- The vehicular circulation (Figure 3.A) will facilitate regional and local access to and from Carleton Acres.
- The pedestrian circulation of sidewalks and trails (Figure 3.B) will be appealing and safe. Higher density residential is located closer to commercial uses to encourage pedestrian walking rather than auto trips. Landscaped streetscapes and Modoc Greenway will link the different residential densities and school sites. Streetscapes shall be designed for an enjoyable experience and encourage walking. The Modoc Greenway trail shall be attractive for active bike and walking activity.
- The bicycle circulation (Figure 3.B) incorporates dedicated bike lanes on public streets as well as bike trails.
- Parking within Carleton Acres consists of on-site parking for residential and commercial uses. Access to residential shall

be at the front for single-family. Multifamily and commercial parking areas shall be screened with landscaping.

3.2.5 Open Space Concepts

Carleton Acres incorporates an integrated public open space network (Figure 2.D), a critical element of the development and importance to the residential uses.

The open space elements include neighborhood parks, vehicular and pedestrian corridors, medians, buffers, entry treatments, trail and water storage/recharge basins.

Section 6 Landscape details each element of the Open Space elements.

Figure 3.A
Vehicular Circulation

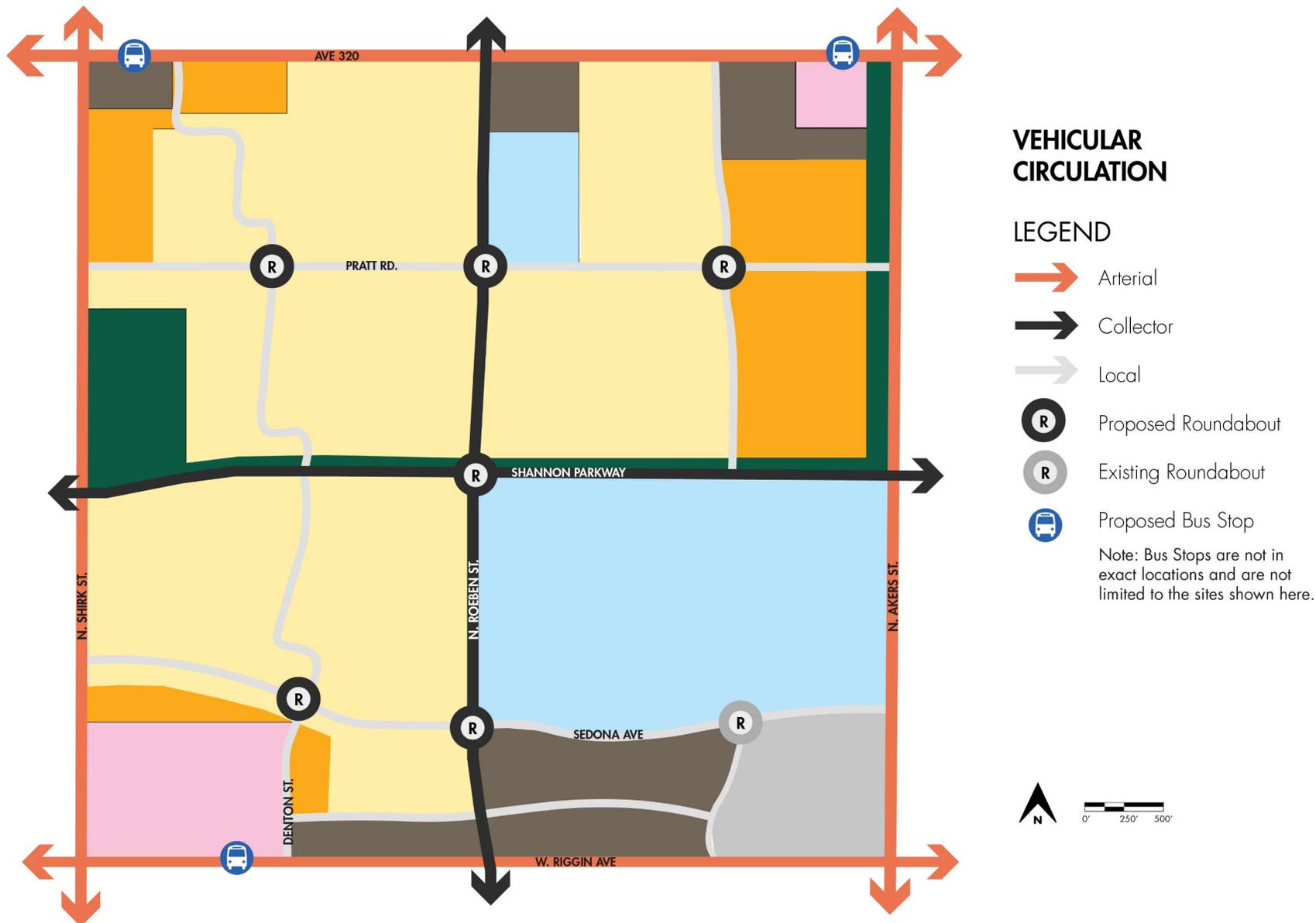
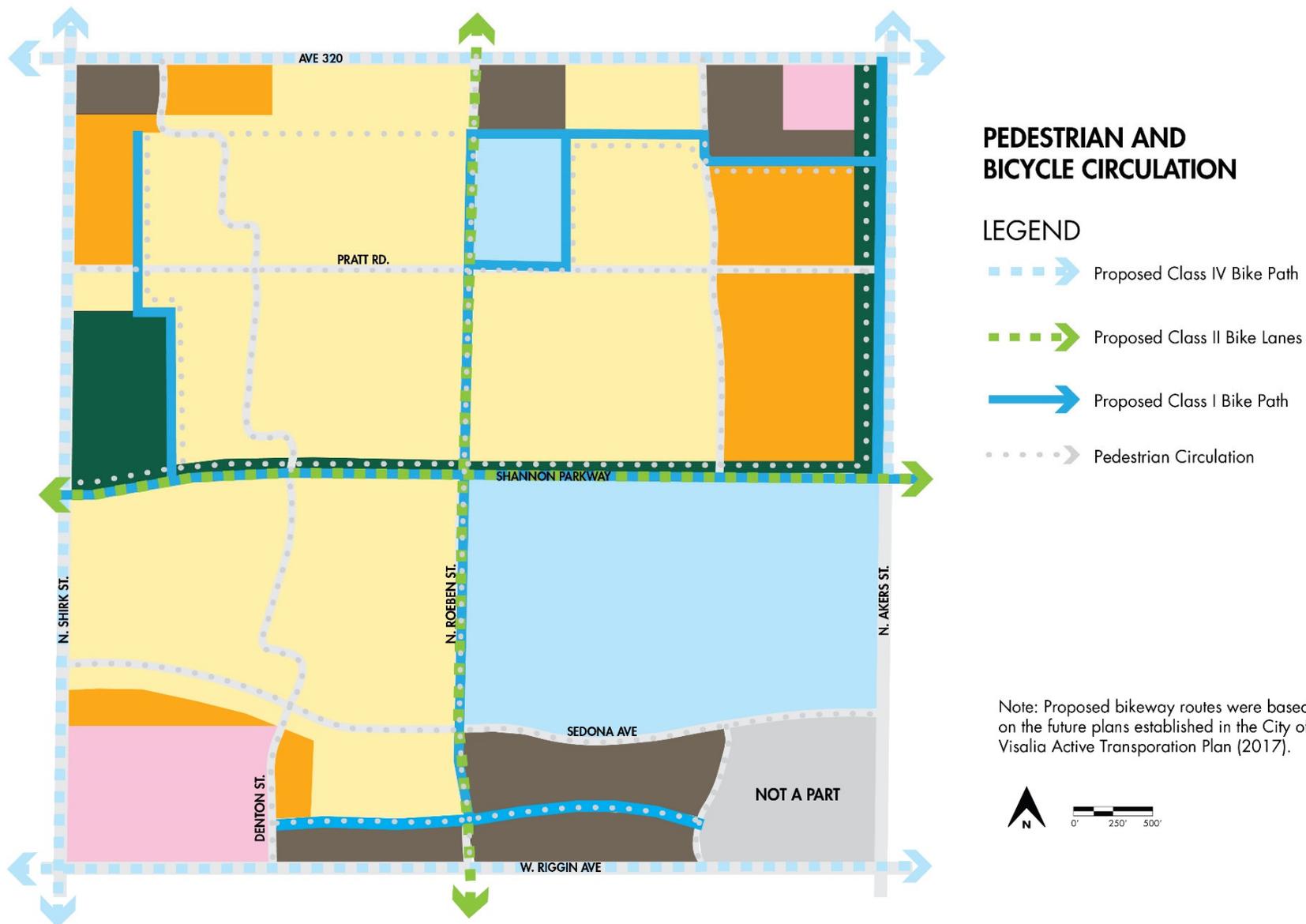


Figure 3.B
Pedestrian and Bicycle Circulation



3.3 PROJECT BOUNDARIES AND PHASES

3.3.1 Consistency

All land uses and development guidelines within the Specific Plan Area are concise with the City of Visalia's General Plan Land Use Map.

The Specific Plan uses match acre per acre to the City of Visalia's General Plan Land Use Map for all uses except the Mixed-Use Commercial was added by reducing the Single-Family Residential Use area. This document will indicate the Carleton Acres Specific Plan Area as a single land use termed Specific Plan. Within this designation, the Carleton Acres Specific Plan then establishes more detailed land uses.

3.3.2 Specific Plan Area

The Specific Plan Area is the portion of the City of Visalia within which this Specific Plan applies. The Specific Plan Area is shown by Figures 1.B and 2.A.

3.3.3 Phases

Within the Specific Plan there are two phases as shown on Figure 2.C. Phase 1 includes land uses south of Modoc Greenway and Shannon Parkway. The development agreement shall have guidelines for when Phase 2 construction may begin.

3.3.4 Agricultural

Project phasing and design will allow the undeveloped portion of the project site to remain in agricultural production for the longest feasible period. Phase 2 which includes the wine grapes will continue to be farmed. The phasing allows +/-329 acres to be continually farmed while Phase 1 is in development stage. The City of Visalia's

Urban Development Boundaries limits the conversion of agricultural land into Tiers. Phase 1 includes Tier 1 and Tier 2. Phase 2 of the project is within the last 3rd Tier of the growth boundary.

3.4 LAND USES

3.4.1 Land Use Designations

As discussed in Sub-section 3.2, Figure 2.C indicates respectively the Permitted Land Uses and their locations within Carleton Acres.

3.4.2 Land Use Summary for each Phase

Table 2-1 provides a breakdown of land use designations, their respective acreages, and permitted dwelling unit ranges for each phase.

3.4.3 Land Use Regulatory Categories

The Specific Plan defines two basic regularity categories of land uses, Permitted and Conditional Use Permit. Permitted Land Uses are allowed by right and do not require review and approval by the Planning Commission. Conditional Use Permit land uses are uses incorporated within the Specific Plan which are allowed with separate review and approval from the City of Visalia Planning Commission. The review and approval process is defined in Section 8.5.

Uses which are not incorporated in the Specific Plan may be provided only with an amendment to the Specific Plan and, if required, a General Plan Amendment (see Section 8.5).

3.4.4 Street Sections

Figures 7.B through 7.Q indicate sections taken through Carleton Acres' major roads. These sections illustrate the relationship



between the streets, parkways and sidewalks on Builder/Developer private lots, buffers and street space landscaping. The street sections in Section 6 convey more detailed information about the landscape, hardscape, streetscape and amenities within the street space.

3.4.5 Levels of Land Use Flexibility

The market demand and economy are unpredictable. In order for Carleton Acres to be successful the Specific Plan must include measures to assure that development can meet market demand.

- Optional Residential Product Types: Multiple product types are permitted for each location designated for residential use.
 - Optional Residential Building Densities: Within each residential land use category, the Builder/Developer may choose from a range of allowed densities. For example, the high-density residential category allows between 15 to 35 housing units per acre.
 - Choice of Product Types: The Specific Plan is designed to provide flexibility in the choice of residential product types and lot sizes within a given area.
 - Flexibility within Commercial Uses: Each commercial building type provides options in terms of lot area, width, depth, and coverage and building height.
 - Specially Permitted Land Uses: The school site allows for an alternate land use of low density residential. Such uses are subject to approval by the City Planning Commission and City Council, and a letter from the Visalia Unified School District stating that it does not want to purchase or utilize the land. Procedures for approving Specially Permitted Land Use are defined in Section 8.
- Ability to Change the Specific Plan: A Builder/Developer who wants to provide uses not incorporated as a Conditional Use Permit land use may apply to the City of Visalia for an amendment to the Specific Plan. The procedure for doing so is defined by the City of Visalia.

3.5 DEVELOPMENT GUIDELINES

3.5.1 Introduction

The Specific Plan contains two basic types of development guidelines: land use designations and design standards.

Land Use Designations: The land use designations are indicated by Figure 2.C defining all Permitted Land Uses incorporated by the Specific Plan. The Project Boundary and each Phase is illustrated.

Design Standards and Guidelines: The standards for Commercial, Residential and Landscape uses and Infrastructure are located in Sections 4,5,6 and 7 of this Specific Plan.

3.5.2 Land Use Designations by Phase

This section presents Land Use Designations for each Phase in the following format:

1. A brief discussion describes the Phase in terms of its location, existing development, permitted land use, Conditional Use Permit and the Specific Plan sections in which other development controls are located.
2. Two tables contain the Land Use Summary and allowed uses for each Permitted and Conditional Use Permit.

3.5.2.1 Phase 1

Location: Phase 1 is located in the southwest portion of Carleton Acres bordered by W. Riggin Avenue to the South, N. Shirk Road to the West, and Shannon Parkway to the North. The planned high school located to the East. Phase 1 includes approximately 177.7 acres. For the boundaries and location of Phase 1 see Figure 2.C. Pedestrian and bicycle access will link the commercial to the surrounding residential neighborhoods.

Permitted Land Use: Phase 1 contains four permitted land uses: Commercial Mixed Use, Low Density Residential, Medium Density Residential and High Density Residential. Commercial Mixed-Use uses can accommodate up to 188,000 square feet of commercial anchor, retail uses and food services. The allowable uses will benefit the most from their proximity to W. Riggin Avenue.

General Guidelines: Refer to the following sections for additional development guidelines and implementation information generally applicable to Phase 1:

- Section 4: Commercial Master Plan
- Section 5: Residential Master Plan
- Section 6: Landscape Master Plan
- Section 7: Infrastructure Master Plan
- Section 8: Implementation

Land Use Summary

| <u>Permitted Land Use</u> | <u>Gross Acreage</u> | <u>Allowed DU Range</u> |
|----------------------------|----------------------|-------------------------|
| Commercial Mixed Use | 28.7 | N/A |
| Residential Low Density | 100.9 | 202-1,009 |
| Residential Medium Density | 9.1 | 91-137 |
| Residential High Density | 39 | 585-1,365 |
| <u>Open Space (Park)</u> | 3.5* | N/A |
| Phase 1 Totals | 177.7 | 878-2,511 |

*The Open Space (Park) is included in the gross acreage of each land use and not included in the total acreage for Phase 1.



Allowed Uses for each Permitted & Conditional Use Permit

| <u>Permitted Land Use</u> | <u>Allowed Use</u> |
|----------------------------|---|
| Commercial Mixed Use | See Permitted Uses on next page. |
| Residential Low Density | Single Family and Small Single Family Lots |
| Residential Medium Density | Cluster, Townhouse, Duplex, or Fourplex Residential |
| Residential High Density | Fourplex Residential or Apartment Building |
| Open Space (Park) | Park and Open Landscape Areas |

Allowed Uses for Commercial Mixed-Use

Automotive: Auto Oil, Lube & Smog Test Shops-Automotive Supplies, Parts & Accessories-Tire Sales & Service

Banks & Financial Institutions: Stand-alone automatic teller-Office

Barber, Hairstylists, Tanning Centers, Cosmeticians & Day Spa: Stand Alone

Catering Services

Clothing/ Costume Rental

Communications: Communications Equipment Building, Radio and TV Broadcasting Studios-with antenna off-site.

Daycare: Up to 12 adults, Up to 14 children

Drive-thru lanes meeting all standards

Eating & Drinking Establishments: Cafeterias-Fast Food Restaurants-Pizza/Sandwich Shops (serving wine/beer)-Ice Cream Shop-Site Down Restaurant/Café with or without full bar using less than 25% of public area.

Florist

Fuel Storage: Propane/Butane, Above Ground Tanks dispensing Class I,II, and III-A liquids-more then 100 feet of a residential use or residential zoned property.

Galleries

Home Occupation Businesses

Laundry/Dry Cleaners: Dry Cleaners, Diaper Supply Service, Linen & Uniform Supply Service, Self Service Laundries

Medical Facilities/Services: Dialysis Center and Blood Donation Centers, Laboratories (medical testing & diagnostic), Medical Equipment/supplies, Opticians



Offices: less than 2,000 square feet to more than 6,000 square feet, More than 25% of total leased area for center, Medical, Counseling/psychologist

Parcel Delivery Services/Parcel Distribution

Parking Facilities for Off-Site Uses

Photocopy Services (without printing press)

Photography Studio, Photography Labs/Blue Printing/Microfilming, Photography Labs with Retail on Site

Private Postal Service

Public Community Services: Police Stations & Substations, Post Office Substations

Recreation Facilities: Athletic and Health Clubs less than 5,000 square feet, Dance, Yoga & Music Studio, Martial Arts, Video Machines/Coin Operated Games 1 to 4 machines.

Recycling Facilities: Reverse Vending Machines-

Residential: Household Pets

Retail General Merchandise: Up to 60,000 square feet

Building/Landscape Materials: Floor & wall coverings, Garden Centers/Nurseries located within primary use, Glass Stores, Hardware Stores less than 10,000 square feet, Paint Stores, Home Improvement, Drugstore/Pharmacy

Food Stores: Specialty Food Stores (bakery, delicatessen, butcher shop, meat market, health food, gourmet/imported food, et.), Supermarkets/Grocery stores

Furniture & Furnishings new

Furniture & Furnishings secondhand up to 10,000 square feet

Gun shops

Magazine/Newspaper Sales indoor

Outlet Stores: bakery, apparel, furnishings

Pet Stores

Pool/Spa Supplies/Equipment

Secondhand Store/Thrift Shops

Service/Commercial: Appliance, Electrical Equipment, Tools (disassemble & repair), Courier Services, Equipment Rental (indoors), Gunsmith Shops (including incidental retail), Locksmiths, Pet Grooming/Dog Training (conducted indoors), Printing Service, Sharpening Service, Shoe Repair Shops, Tailor, Dressmaking & Alterations, Upholstering Shops (furniture only)

Taxi/Limousine Service

Utilities: Business Offices, Elevated Pressure Tanks, Payment Centers

Veterinary Services: Animal Care Clinic (no boarding)

Warehousing Storage: Do not exceed 20% gross floor area of permitted use

Other: Other Uses Similar in Nature and Intensity as Determined by the City Planner



Requires Conditional Use Permit for Commercial Mixed-Use

Automotive: Auto Leasing/Renting, Auto Repairs, -Car Washing self-service or automated

Barber, Hairstylists, Tanning Centers, Cosmeticians & Day Spa: Located within the Primary Permitted Use on the Site & Tattooist

Bus Depots: Public & Private Transfer Point

Churches & Other Religious Institutions: Up to 200 Seats

Communications: Radio and TV Broadcasting Studios-with antenna on-site, Communications Equipment Building, Wireless telecommunication facilities more than 100 feet from residential or planned/zoned residential

Daycare: More than 12 adults, More than 14 children

Drive-thru lanes not meeting all standards

Eating & Drinking Establishments: Bars/Taverns within & not within 300 feet of any residence/public use, Micro-breweries/micro-wineries (with or without restaurants, Craft distilleries, Live Entertainment, Sit-Down Restaurant/Café with full bar using greater than 25% of public area

Fuel Storage: Above Ground Tanks dispensing Class I,II, and III-A liquids-within 100 feet of a residential use or residential zoned property.

Funeral Home/Mortuary

Hotels and Motels

Massage Therapist

Medical Facilities/Services: Rehabilitations Hospitals

Photocopy Services/Desktop Publishing (with printing press)

Planned Unit Development

Private Clubs and Lodges

Public Community Service: Community & Recreation Centers, Community Gardens, Fire Stations, Public Buildings, Offices & Grounds, Public Libraries, Public Parks/Playgrounds

Recreation Facilities: Athletic and Health Clubs, Aquatic Centers-, Athletic/Playing Fields, Bowling Alleys, Golf Courses & Driving Ranges, Miniature Golf Courses, Ice & Roller Skating Rinks, Pool Halls/Billiard Parlors, Video Machines/Coin Operated Games 5 or more machines, Other Recreational Facilities, Rifle and Pistol Range indoor

Recycling Facilities: Small Collection

Residential: Residential Units, New or Expansions, which may or may not be associated with a commercial activity, Senior Citizen Residential Developments

Retail General Merchandise: over 60,000 square feet

Building/Landscape Materials: Garden Centers/Nurseries stand alone, Feed Stores

Food Stores: Convenience Store 7,000 square feet or less, Liquor Store within & not within 300 feet of residential/public use, wine tasting with sales,

Magazine/Newspaper Sales outdoor

Pawnshops

Smoke Shops

Schools, Public and Private: Preschool/After School Care, Elementary, Middle School, High School, Colleges/Universities, Business, Trade, Vocational, Charter or other Specialized Schools, Tutor Centers

Service/Commercial: Check/cashing Service, Bail Bonds, Equipment Rental (conducted outdoors), Sheltered Workshops

Service Stations: Fuel Dispensing, which may include major auto repair



Theaters: Drive-in, Movie, Live Performance

Utilities: Electric Distribution Substations, Gas Regulator Stations, Public Service Pumping Stations, Public Utility Service Yards

Veterinary Services: Hospitals/Clinics located 500 feet from a residential zone including short term boarding of animals

Warehousing Storage: In excess of 20% gross floor area of permitted use

Mini Storage Facilities

Other: Other Uses Similar in Nature and Intensity as Determined by the City Planner Subject to the Granting of a Conditional Use Permit

Allowed Uses for R-1 Single Family Residential

One-family dwelling

Accessory structures: private garages/carports, one guest house, garden structures, hobby shops

- Max. 12' height
- Max. coverage 20% of required rear yard
- Reverse corner lots: No structure within 15' of adjacent lot's front yard area.

Swimming pools

Temporary subdivisions sales office

Licensed day care for a maximum of 14 children in addition to residing family.

24 hour residential care facilities or foster homes with a maximum of six individuals in addition to residing family.

Accessory dwelling units as specified in zoning code

Adult day care up to 12 persons in addition to the residing family

Requires Conditional Use Permit for R-1 Single Family Residential

Public and quasi-public uses of an educational or religious type including public and elementary schools, junior high schools, high schools and colleges, nurse schools, licensed day care facilities for more than 14 children, churches and other religious institutions.

Public and private charitable institutions, general hospitals, nursing and convalescent homes.

Public uses of an administrative, recreational, public service, or cultural type including city, county, state or federal administrative centers and courts, libraries, museums, art galleries, police and fire stations, ambulance service and other public building, structures and facilities; public playgrounds, parks and community centers.

Electric distribution stations

Gas regulator stations

Public service pumping stations

Communication equipment buildings

Planned neighborhood commercial center

Residential development specifically designed for senior housing

Adult day care in excess of 12 persons

Duplexes on corner lots

24 hour residential care facilities or foster homes for more than six individuals in addition to residing family.

Residential structure and accessory buildings totaling more than 10,000 square feet



Allowed Uses for R-M Multi-Family Residential

Multi-family dwellings up to 80 dwelling units per site in the R-M-2 zone and R-M-3 zone

Planned developments

Swimming pools

Temporary subdivisions sales office

Licensed day care for a maximum of 14 children in addition to residing family.

24 hour residential care facilities or foster homes with a maximum of six individuals in addition to residing family.

Accessory buildings

Adult day care up to 12 persons in addition to the residing family

Requires Conditional Use Permit for R-M Multi-Family Residential

Public and quasi-public uses of an educational or religious type including public and elementary schools, junior high schools, high schools and colleges, nurse schools, licensed day care facilities for more than 14 children, churches and other religious institutions.

Public and private charitable institutions, general hospitals, nursing and convalescent homes.

Public uses of an administrative, recreational, public service, or cultural type including city, county, state or federal administrative centers and courts, libraries, museums, art galleries, police and fire stations, ambulance service and other public building, structures and facilities; public playgrounds, parks and community centers.

Open air public or private parking lot

Electric distribution stations

Gas regulator stations

Public service pumping stations

Communication equipment buildings

More than 80 units per site in the R-M-2 zone

More than 80 units per site in R-M-3 zone

Residential development specifically designed for senior housing

Adult day care in excess of 12 persons

Other uses similar in nature and intensity as determined by the city planner

Residential developments utilizing private streets in which the net lot area (lot area not including street area) meets or exceeds the site area prescribed by this chapter and in which the private streets are designed and constructed to meet or exceed public street standards



3.5.2.2 Phase 2

Location: Phase 2 is in the northern portion of the Carleton Acres Project site. It is bordered by N. Akers Street to the East, Shannon Parkway to the South, N. Shirk Road to the West and Avenue 320 to the North. The Modoc Greenway borders to the East and South. Phase 2 includes approximately 329.6 acres. For the boundaries and location of Phase 2 see Figure 2.C. Pedestrian and bicycle access will link the residential uses to the school sites. The Modoc Greenway provides a link for residents across the whole project. It is an amenity to be enjoyed by all for active walking or biking.

Permitted Land Use: Phase 2 contains five permitted land uses: Commercial Neighborhood, Public/Institutional, Low Density Residential, Medium Density Residential, High Density Residential and Open Space. Commercial Neighborhood uses can accommodate up to 21,500 square feet of retail uses and food services. See section 3.5.2.1. for Residential permitted uses.

General Guidelines: Refer to the following sections for additional development controls and implementation information generally applicable to Phase 2:

- Section 4: Commercial Master Plan
- Section 5: Residential Master Plan
- Section 6: Landscape Master Plan
- Section 7: Infrastructure Master Plan
- Section 8: Implementation

Land Use Summary

| <u>Permitted Land Use</u> | <u>Gross Acreage</u> | <u>Allowed DU Range</u> |
|----------------------------|----------------------|-------------------------|
| Commercial Neighborhood | 6.4 | N/A |
| Public/Institutional | 13.0 | N/A |
| Residential Low Density | 204.5 | 409-2,045 |
| Residential Medium Density | 66.7 | 667-1,001 |
| Residential High Density | 21.7 | 326-780 |
| Open Space (Basin) | 17.3 | N/A |
| <u>Open Space Park)</u> | <u>13.8*</u> | <u>N/A</u> |
| Phase 2 Totals | 329.6 | 1,402-3,826 |

*The Open Space (Park) is included in the gross acreage of each land use and not included in the total acreage for Phase 2.

Allowed Uses for each Permitted & Specially Permitted Land Use

| <u>Permitted Land Use</u> | <u>Allowed Use</u> |
|----------------------------|--|
| Public/Institutional | School Site, Community Playfields, or Single Family Residential |
| Residential Low Density | Single Family and Small Single Family Lots |
| Residential Medium Density | Cluster, Townhouse, Duplex, or Fourplex Residential |
| Residential High Density | Fourplex Residential or Apartment Building |
| Open Space (Basin) | Water Storage/Recharge, Trail on East side, or Single Family Residential |
| Open Space (Park) | Park and Open Landscape Areas |

Allowed Uses for Commercial Neighborhood

Banks & Financial Institutions: Stand-alone automatic teller-Office

Barber, Hairstylists, Tanning Centers, Cosmeticians & Day Spa

Daycare: Up to 12 adults, Up to 14 children

Drive-thru lanes meeting all standards

Eating & Drinking Establishments: Cafeterias-Fast Food Restaurants-Pizza/Sandwich Shops (no alcohol)-Ice Cream Shop-Site Down Restaurant/Café with or without full bar using less than 25% of public area.

Florist

Fuel Storage: Above Ground Tanks dispensing Class I,II, and III-A liquids, more then 100 feet of a residential use or residential zoned property.

Galleries

Home Occupation Businesses

Laundry/Dry Cleaners: Dry Cleaners, Self Service Laundries

Offices: Less than 2,000 square feet, Up to 25% of total leased area for center

Photocopy Services (without printing press)

Photography Studio

Private Postal Service

Recreation Facilities: Athletic and Health Clubs less than 5,000 square feet, Dance, Yoga & Music Studios, Martial Arts, Video Machines/Coin Operated Games 1 to 4 machines.

Recycling Facilities: Reverse Vending Machines

Residential: Household Pets

Retail General Merchandise: Up to 4,000 square feet

Building/Landscape Materials: Garden Centers/Nurseries located within primary use, Hardware Stores less than 10,000 square feet, Drugstore/Pharmacy

Food Stores: Specialty Food Stores (bakery, delicatessen, butcher shop, meat market, health food, gourmet/imported food, et.), Supermarkets/Grocery stores

Furniture & Furnishings secondhand up to 10,000 square feet

Gun shops

Pet Stores

Pool/Spa Supplies/Equipment

Service/Commercial: Appliance, Electrical Equipment, Tools (disassemble & repair), Locksmiths, Pet Grooming/Dog Training, Sharpening Service, Shoe Repair Shops, Tailor, Dressmaking & Alterations

Utilities: Payment Centers

Veterinary Services: Animal Care Clinic (no boarding)

Warehousing Storage: Do not exceed 20% gross floor area of permitted use

Other: Other Uses Similar in Nature and Intensity as Determined by the City Planner



Requires Conditional Use Permit for Commercial Neighborhood

Automotive: Auto, Lube & Smog Test Shops-Automotive Supplies, Parts & Accessories, Car Washing self-service or automated, Tire Sales & Service

Communications: Communications Equipment Building, Wireless telecommunication facilities more than 100 feet from residential

Daycare: More than 12 adults, more than 14 children

Drive-thru lanes not meeting all standards

Eating & Drinking Establishments: Bars/Taverns within 300 feet of any residence/public use, Micro-breweries/micro-wineries (with or without restaurants, Sit-Down Restaurant/Café with full bar using greater than 25% of public area

Fuel Storage: Above Ground Tanks dispensing Class I,II, and III-A liquids, within 100 feet of a residential use or residential zoned property.

Massage Therapist

Medical Facilities/Services: Clinics (medical group, urgent care/walk-ins, dental, rehabilitation, outpatient surgery center), Opticians (dispensing), counseling/psychologist

Offices: Above 2,000 square feet

Offices: More than 25% of total leased area for center

Park & Ride

Planned Unit Development

Public Community Service: Community & Recreation Centers, Community Gardens, Fire Stations, Police Stations & Substations, Public Buildings, Offices & Grounds-Public Libraries, Public Parks/Playgrounds, Post Office Substations

Recreation Facilities: Athletic and Health Clubs, Aquatic Centers, Video Machines/Coin Operated Games 5 or more machines, Other Recreational Facilities, Rifle and Pistol Range indoor

Recycling Facilities: Small Collection

Residential: Residential Units, New or Expansions, which may or may not be associated with a commercial activity

Retail General Merchandise: 4,001 to 40,000 square feet

Building/Landscape Materials: Floor & Wall Coverings, Garden Centers/Nurseries stand alone

Food Stores: Convenience Store 7,000 square feet or less-Liquor Store not within 300 feet of residential/public use.

Magazine/Newspaper Sales indoor or outdoor

Schools, Public and Private: Preschool/After School Care, Elementary, Middle School, High School, Tutor Centers

Service/Commercial: Check/cashing Service, Printing Service, Sheltered Workshops

Service Stations: Fuel Dispensing only not including major auto repair services of any kind

Utilities: Electric Distribution Substations-Elevated Pressure Tanks, Gas Regulator Stations, Public Service Pumping Stations

Veterinary Services: Hospitals/Clinics located 500 feet from a residential zone including short term boarding of animals

Warehousing Storage: In excess of 20% gross floor area of permitted use

Other: Other Uses Similar in Nature and Intensity as Determined by the City Planner Subject to the Granting of a Conditional Use Permit



Commercial

4.0



4.0 Commercial

4.1 INTRODUCTION

This Specific Plan contains standards which apply to all commercial uses built within the Carleton Acres Specific Plan Area. Basic land uses are established by Section 3. Any regulatory issues not addressed by this Specific Plan shall be administrated by the City of Visalia requirements.

Related standards affecting commercial development are in the following locations:

- Permitted land uses and intensity of land use: Section 3.
- Street and open spaces within commercial: Section 6.
- Commercial drive aisles: Section 6.3.5
- Off-street parking: Section 6.8.2
- Service area and trash enclosures: Section 6.8.3
- Signage: Section 6.9

4.2 COMMERCIAL DEVELOPMENT CONCEPT

The Commercial Mixed-Use area in Carleton Acres is designed to be a dynamic space, featuring a major anchor tenant, drive-thru pads for fast-food options, and pads for various shops and restaurants. This commercial hub offers convenience and amenities not only for Carleton Acres residents but also for all of North Visalia's community, including workers and visitors. The strategic positioning along W. Riggin Ave. ensures high visibility and easy access, making the commercial area easily identifiable from nearby streets. With a diverse mix of businesses, the Commercial Mixed-Use area shall thrive and serve as a busy destination for the community. Refer to

Commercial Mixed-Use Conceptual Illustration Figure 4.A and Commercial Mixed-Use Conceptual Rendering Figure 4.B.

The Commercial Neighborhood land use in Carleton Acres is carefully planned to meet the day-to-day needs of its residents as well as the future adjacent neighborhoods. The area is envisioned to include essential amenities such as a drug store, restaurants, and various shops. These businesses are strategically oriented towards the street. The Commercial Neighborhood has a direct connection to the Modoc Greenway, ensuring seamless accessibility and promoting a sense of connectivity between the commercial area and the surrounding community. Refer to Commercial Neighborhood Conceptual Illustration Figure 4.C.

Monumental features as well as architecture shall demonstrate the identity and character of Carleton Acres.

Architectural recommended features:

Classic/timeless architecture

Smooth stucco light in color

Gray/Black metal awnings

Stone columns with metal trellis

See Figure 4.D Commercial Conceptual Illustrations

4.3 LOCATION OF COMMERCIAL USES

4.3.1 Location of Commercial Mixed Land Use

Phase 1 includes Commercial Mixed-Use at the major intersection of W. Riggin Avenue and N. Shirk Road.



The accessibility and convenience of the Commercial Mixed-Use site along W. Riggin Ave. are key factors contributing to its success as a thriving commercial hub. The constant flow of people traveling along this major road provides high visibility to the businesses, attracting potential customers and fostering a vibrant commercial district within Carleton Acres. This strategic placement also aids in managing traffic flow, directing high-density traffic to the main arterial streets and reducing congestion near schools and residential areas. As a result, the community creates safer and more pedestrian-friendly environments, contributing to a harmonious and family-friendly atmosphere.

Beyond serving the Carleton Acres Community, the Commercial Mixed Uses attract residents south of W. Riggin Ave. and east of N. Akers St., providing them with convenient access to daily conveniences and services. Additionally, Visalia residents traveling along W. Riggin Ave. benefit from the added commercial options in North Visalia, enhancing the appeal of the area as a shopping and dining destination.

The vision for the Commercial Mixed-Use area includes a mix of businesses, including a large "anchor type" tenant and various smaller shops and pad sites that attract renowned chain-type businesses. The development also encourages the establishment of fast-food and dine-in restaurants.

The site's easy accessibility by vehicle, bicycle, or foot travel, facilitated by the trail, bike lane, and adjacent sidewalks throughout Carleton Acres, ensures that residents and visitors can access the Commercial Mixed-Use area conveniently. This inclusive approach to transportation options promotes an active and connected community where commerce thrives, and residents' well-being remains a top priority. The Commercial Mixed-Use area becomes a

vibrant and dynamic hub that contributes to the overall success and harmony of Carleton Acres as a well-balanced and desirable community.

4.3.2 Location of Commercial Neighborhood Land Use

Phase 2 includes Commercial Neighborhood use at the major intersection of Ave. 320 and N. Akers Street.

For the commercial uses in Carleton Acres to thrive, visibility to the traffic along arterial streets is essential. The strategic location of these commercial areas ensures that traffic remains concentrated along the main arterial streets, reducing congestion within the residential areas and promoting a safer and more pedestrian-friendly environment for residents. The Commercial Neighborhood uses serve as a valuable resource for Carleton Acres residents, offering local conveniences and amenities. Additionally, these commercial areas are planned to cater to the future residential development east of N. Akers Street.

The vision for the Commercial Neighborhood uses includes a mix of local shops, businesses, restaurants, and a drive-thru pad. This diverse offering meets the varied needs and preferences of Carleton Acres residents, enhancing their overall quality of life.

The location of the Commercial Neighborhood use site is strategically accessible to the high and medium residential areas situated in the northeast portion of Carleton Acres. The Modoc Greenway trail serves as a vital link, connecting the commercial uses to the residential neighborhoods, the existing middle school, and the future high school. Additionally, a trail to the south of the commercial neighborhood will connect residents on the west side of Carleton Acres to the future elementary school, promoting connectivity and encouraging alternative transportation options.



4.4 COMMERCIAL POLICIES AND STANDARDS

The following standards shall apply to all commercial developments.

- A) *Building Type Standards:* Section 4.4 contains building standards for each commercial building type allowed within Carleton Acres. Section 3.5 provides the development guidelines for allowed uses and the maximum square footage of commercial developments.
- B) *Walkability:* All streets within the commercial use should be designed with a high level and quality of landscape and hardscape to create an appealing and pedestrian-friendly environment. The high-quality pedestrian environment in Carleton Acres' commercial areas would enhance their appeal as attractive places to shop and work as well as encouraging residents to choose walking as a convenient alternative to local auto trips.
- C) *Identity:* All commercial development should have a distinct and unique identity, promoting diversity and enhancing the overall character of the community. This distinctiveness should be achieved through consideration of various elements such as building architecture, siting, scale, massing, materials, monumental features, landscaping, and the thoughtful design of parking areas, resulting in a diverse and visually appealing commercial landscape that enhances the community's character and charm.
- D) *Design and Construction Quality:* The architectural, lighting, signage, parking and construction quality of commercial uses should follow a high standard.
- E) *Parking:* The parking areas within this Master Plan for each use should be attractive, convenient, landscaped and lighted.
- F) *Signage and Lighting:* Lighting is important for public security and safety. Signage and lighting features should complement the architecture.
- G) *Mechanical Equipment Screening:* All mechanical equipment should be screened from public view using screening devices consistent with the adjacent architectural design.
- H) *Design Concept:* The building design is to prioritize street frontages with main entries clearly visible, promoting a pedestrian-friendly environment. Complexity in building design is also favored, and articulated corners, varied facades, deep openings, and shadow-creating details are recommended for added visual interest. The ground floor should feature transparent elements, such as windows or glass facades, to engage pedestrians, while arcades, awnings, and canopies provide shade and enhance the pedestrian experience. At least 30% of the ground floor facade is encouraged to be transparent. The color palette should draw inspiration from traditional farm-style natural colors, with vibrant accents allowed in appropriate locations, and high-quality materials for roofs that promote individuality and variety along the street.
- I) *Landscape:* The landscape design plays a vital role in unifying and defining the identity of Carleton Acres. Open spaces should be thoughtfully designed as outdoor rooms, with plazas as focal points to encourage community engagement and outdoor dining areas are encouraged to enhance the overall experience and sense of togetherness within the community.

4.5 COMMERCIAL DEVELOPMENT STANDARDS

| | |
|--------------------------------------|-----------------------------|
| Land Use | |
| Zoning | C-MU |
| Land Use Designation | Commercial Mixed-Use |
| Permitted Uses | Section 3.5 |
| Conditioned Uses | Section 3.5 |
| Setbacks (Minimum) | |
| Riggin Avenue | 15' (Landscape 15' minimum) |
| Shirk Road | 10' (Landscape 10' minimum) |
| Denton Street | 10' (Landscape 10' minimum) |
| Rear | 0' (Landscape 5' minimum) |
| Rear abutting R-1 or R-M zone | 15' (Landscape 5' minimum) |
| Side | 0' (Landscape 5' minimum) |
| Side abutting R-1 or R-M zone | 15' (Landscape 5' minimum) |
| Building Height | 50' maximum |
| Parking | Section 6.8.2 |
| Wall & Fence | Section 6.8.4 |
| Signage | Section 6.9 |
| Landscape | Section 6.8 |
| Lighting | Section 6.10 |

| | |
|--|-----------------------------|
| Land Use | |
| Zoning | C-N |
| Land Use Designation | Commercial Neighborhood |
| Permitted Uses | Section 3.5 |
| Conditioned Uses | Section 3.5 |
| Setbacks (Minimum) | |
| Avenue 320 | 15' (Landscape 15' minimum) |
| Akers Street & Local Street | 10' (Landscape 10' minimum) |
| Rear | 0' (Landscape 5' minimum) |
| Rear abutting R-1 or R-M zone | 15' (Landscape 5' minimum) |
| Side | 0' (Landscape 5' minimum) |
| Side abutting R-1 or R-M zone | 15' (Landscape 5' minimum) |
| Building Height | 50' maximum |
| Parking | Section 6.8.2 |
| Wall & Fence | Section 6.8.4 |
| Signage | Section 6.9 |
| Landscape | Section 6.8 |
| Lighting | Section 6.10 |

Figure 4.A
Commercial Mixed-Use Conceptual Illustration



Key Map



Figure 4.B
Commercial Mixed-Use Conceptual Rendering



Figure 4.C
Commercial Neighborhood Conceptual Illustration



Key Map

Figure 4.D
Commercial Conceptual Design Illustrations



North Elevation



South Elevation (Rising)



Southwest Elevation (Rising)



Southeast Elevation (Rising)

Shops/Restaurants Pad



Residential

5.0



5.0 Residential

5.1 INTRODUCTION

This Specific Plan addresses all residential development in Carleton Acres. Residential development standards and design elements include location, site configuration, density, design character and other features of residential development within Carleton Acres.

This section outlines the Specific Plan's neighborhood development visions. This Specific Plan contains standards which apply to all residential uses built within the Carleton Acres Specific Plan Area. Basic land uses are established by Section 2. Any regulatory issues not addressed by this Specific Plan shall be governed by the City of Visalia requirements.

Related standards affecting residential development are in the following locations:

- Permitted land uses and intensity of land use: Section 3.
- Street and open spaces within residential: Section 6.

The development standards are organized by the following: residential policies and standards, residential product types development standards, and residential architectural style.

5.2 RESIDENTIAL DEVELOPMENT CONCEPTS

The residential Standards and Guidelines of Carleton Acres' neighborhood concept is based on the policies of the City's General Plan. The key elements of this vision which have guided the development of this Specific Plan are:

- Neighborhoods should contain a diverse mix of housing types to enable residents from a wide range of economic levels, age groups and household types to live within its boundaries.
- Interconnected local street and pedestrian circulation.
- Provide a range of housing types and prices. Allow developers flexibility in meeting housing needs.
- Provide amenities for all residents with open space, parks and recreational areas. This can include shared use of school properties.
- Allow sufficient density to enable new development to be self-sufficient, paying for all required infrastructure and open space.
- Provide additional revenues (sales tax, property tax, impact fees, etc.) that would support all services within the area to be developed and contribute to the City's general fund.
- Neighborhoods should have well-defined edges created by commercial districts, major streets and public facilities.
- Neighborhoods streets, pedestrian paths and bike paths should be planned as a system of fully connected and interesting routes.

Character of Neighborhood Streets

- Narrow streets
- Street trees which form a canopy
- Traffic calming strategies
- Variable lot setbacks
- Architectural and site design which supports the street as a social space
- Rear auto access for some product types
- Variety of compatible architectural styles
- Front porches are encouraged



- Wrap-around elevation treatments
- Varied roof pitches
- Varied garage placement
- Varied yet consistent color palette

The densities below determine the type of housing that is allowed per zone. The building standards define the lots where the Product Type may be constructed. The planning in Carleton Acres creates a harmonious streetscape and imparts a distinctive character to each neighborhood, resulting in a unique and cohesive community ambiance.

5.3 LOCATION OF RESIDENTIAL USES

5.3.1 Low Density (R-1-5 Use)

In Carleton Acres, the Low Density Residential areas are strategically concentrated towards the center of the community, with each residential development playing a crucial role in fostering a strong sense of neighborhood within the larger master planned community. All residential developments share common theme materials and details, creating a cohesive and unified visual identity. Some of these developments may even function as their own gated communities, adding an element of exclusivity while maintaining a sense of belonging within the larger community. Where walls are required by the city, the design emphasizes the use of plantings to soften their appearance and mitigate potential graffiti issues, promoting a more aesthetically pleasing and secure environment.

The residential development in Carleton Acres is thoughtfully organized through a traditional street grid intersected by parkways, avenues, bicycle paths, trails, and the Modoc Greenway. These elements define the various neighborhood villages and reinforce

connections to the commercial areas, school sites, and public spaces. This strategic layout enhances accessibility and connectivity, ensuring that residents can easily access amenities and services within the community, contributing to a sense of cohesiveness and convenience.

Recognizing the importance of offering housing diversity to accommodate various lifestyles, the Specific Plan includes a mix of housing types, sizes, and styles. Different clusters of development provide residents with the flexibility to choose a housing option that aligns with their evolving lifestyle needs throughout different stages of life. Varied lot and home sizes within each residential development offer a range of lifestyle opportunities, making Carleton Acres a dynamic and inclusive place to call home.



Figure 5.A
Phase 1 Low Density Conceptual Illustrations



Key Map

Figure 5.B
Phase 2 Low Density Conceptual Illustrations



Key Map

5.3.2 Medium Density (R-M-2 Use)

Phase 1 Medium density uses are a suitable buffer between commercial and low density residential. In Phase 2 of the Project medium density residential is placed along N. Akers St., Ave 320 and N. Shirk St. Along N. Akers St., the Modoc Greenway & bike trail provide a buffer for the multi-family dwellings.

Figure 5.C
Phase 1 Medium Density Conceptual Illustrations



Key Map



Key Map

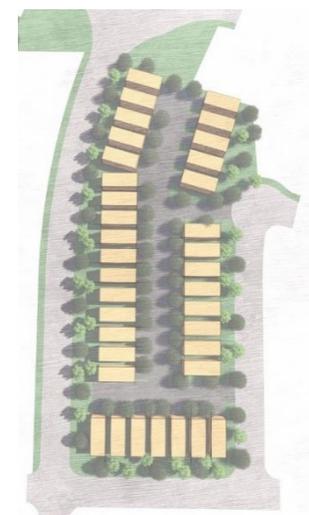


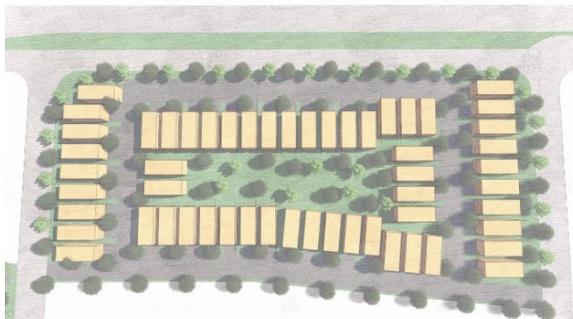
Figure 5.D
Phase 2 Medium Density Conceptual Illustrations



Key Map



Key Map





Key Map



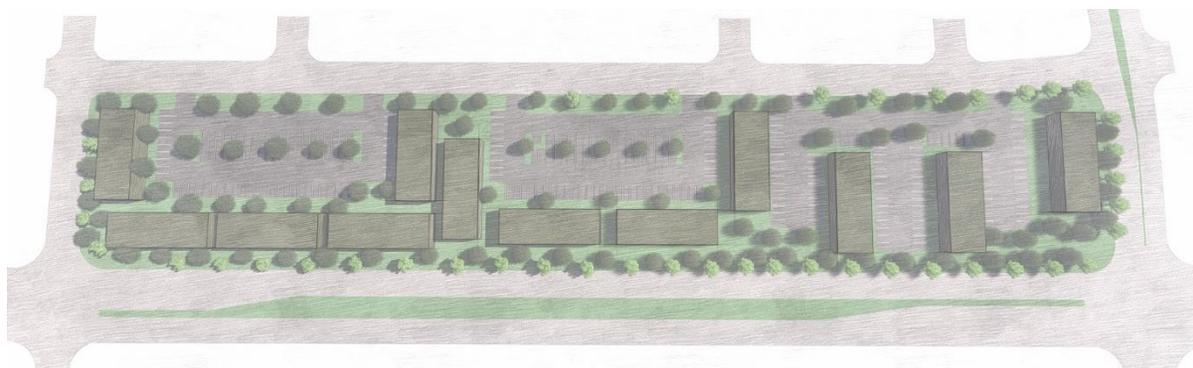
Key Map



5.3.3 High Density (R-M-3 Use)

Multi-family acts as a buffer between arterial streets on W. Riggin Ave., N. Shirk Road, Ave 320 and N. Akers St. to the low-density residential lots.

Figure 5.E
Phase 1 High Density Conceptual Illustrations



Key Map



Key Map

Figure 5.F
Phase 2 High Density Conceptual Illustrations



Key Map



Key Map





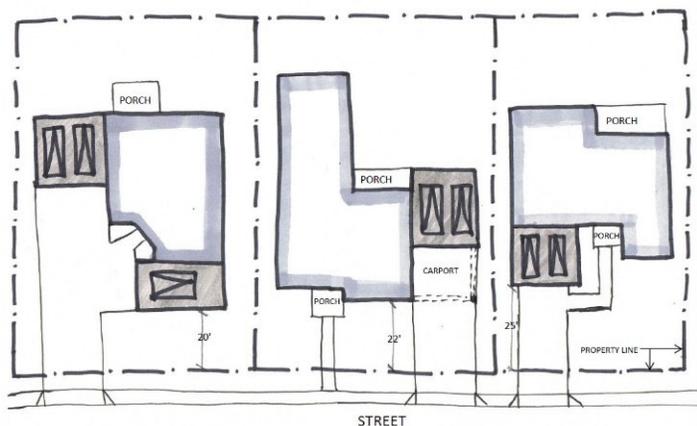
Key Map



5.4 RESIDENTIAL POLICY AND STANDARDS

5.4.1 Single-Family Residential Policies and Standards

- A) *Building Type Standards:* Development Standards for Product Type 1-R Large Lot Single-Family and 2-R Small lot Single-Family are in Section 5.5. Front yard setbacks should be staggered.



- B) *Walkability:* All streets within the residential use area should be a high level of quality landscape and hardscape to foster an appealing pedestrian environment. This deliberate focus would not only enhance the attractiveness of the residential areas as desirable places to live but also encourage and promote pedestrian use, contributing to a vibrant and pedestrian-friendly community.
- C) *Identity:* A variety of architectural product types is encouraged for a distinct residential identity. This emphasis on variety is achieved through careful consideration of building architecture, siting, scale, massing, and materials, all

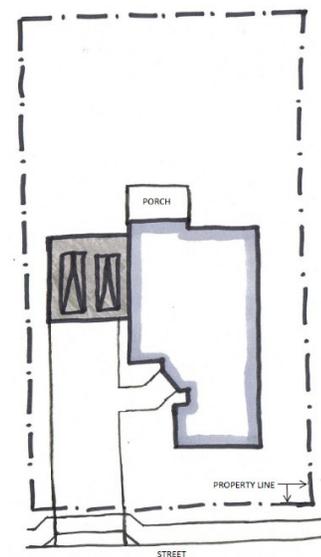
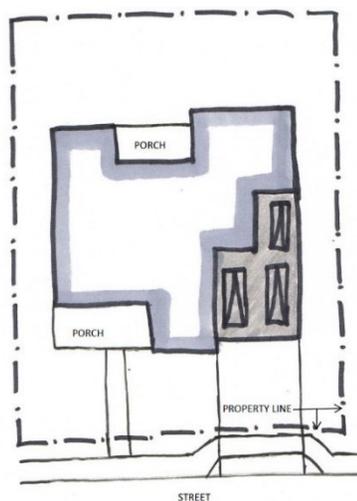
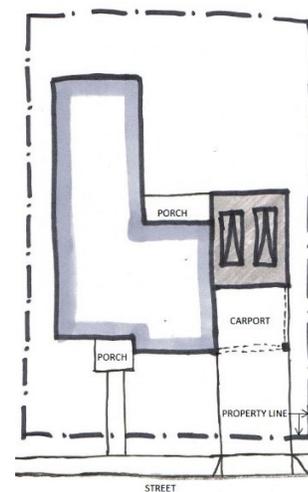
of which contribute to creating a cohesive and visually appealing neighborhood character.

- D) *Design and Construction Quality:* The architectural, lighting, signage, parking, and construction quality of residential uses should adhere to a high standard, ensuring a consistent and elevated level of design and construction throughout the community.
- E) *Signage and Lighting:* Lighting is important for public security and safety. Signage and lighting features should complement the architecture.
- F) *Screening:* Service uses like trash storage and utility meters should be discreetly screened and kept out of sight from the street view to maintain the community's aesthetic appeal. Additionally, all mechanical equipment should be adequately screened from public view, utilizing screening devices that blend harmoniously with the adjacent architecture, ensuring a visually pleasing and seamless integration within the neighborhood.
- G) *Design Concept:* A diversity of architectural styles is promoted regardless of block lengths, with a minimum of two elevation styles per plan. To ensure architectural and visual variety, adjacent lots should have distinct color schemes. Additionally, it is encouraged to have different floor plans plotted next to each other, for a unique streetscape. Primary entrances to all homes are oriented towards the public streets or greenspaces, ensuring clear access to all residences and enhancing the community's connectivity. Porches are encouraged, with a minimum depth of 6' measured at the walking surface, adding to the charm and appeal of the residential neighborhoods.

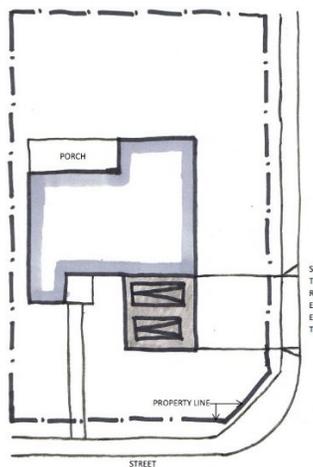
- H) *Landscape*: Enhance architecture through the thoughtful integration of complementary landscape elements. Decorative arbors and shade structures are highly encouraged and can be found throughout the community, enriching various areas such as front, side, and rear yards, recreation spaces, paseos, and entries. These arbors can be constructed using wood or metal and are to reflect the overall theme and character of Carleton Acres, creating a cohesive and visually appealing environment.
- I) *Garages*: Garages should have a variety of placements and setbacks from the street, offering flexibility and visual interest. The garage doors should match the building style. Attached and detached garages are permitted. Additional parking spaces may be provided within the garage, and the requirement for parking can be satisfied with one covered and one uncovered parking space.

Tandem garage spaces are encouraged for garages with spaces for more than two cars.

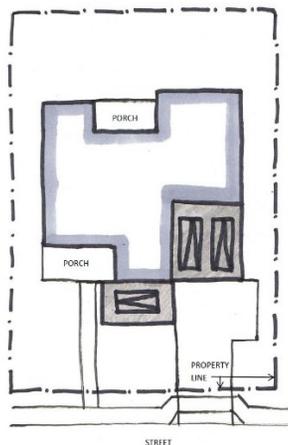
Recessed garages are encouraged to reduce the overall visual mass of the garage.



Corner lot garage encourages entrance on one street and garage access on the other street.



Split garage provides a variation in appearance and deemphasizes the garage. A minimum twenty-four foot backup space should be provided for side access garage.



5.4.2 Multi-Family Residential Policies and Standards

- A) *Building Type Standards:* Development Standards for Product Type 3-R Cluster Single-Family, 4-R Townhouse, 5-R Duplexes and Fourplexes and 6-R Apartment are in Section 5.5. Setbacks along the development perimeter should vary beyond the minimum established by constraints of the site location and building codes. Minimum on-site building separations vary and are determined by the building code.
- B) *Walkability:* Streets should be carefully designed with a focus on high-quality landscape and hardscape elements, creating an appealing and inviting pedestrian environment. This not only enhances the attractiveness of the residential areas as desirable places to live but also encourages and promotes a pedestrian-friendly community
- C) *Identity:* A diverse range of architectural product types is encouraged for a distinct and unique residential identity. This emphasis on variety is achieved through careful consideration of building architecture, siting, scale, massing, and materials, all of which contribute to creating cohesive neighborhoods with individual character and charm.
- D) *Design and Construction Quality:* The architectural, lighting, signage, parking, and construction quality of residential uses should adhere to a high standard, ensuring a visually appealing and well-maintained living environment.
- E) *Parking:* The parking standards outlined in the Plan prioritize creating attractive, convenient, and well-landscaped parking areas that are properly illuminated. Access to these parking spaces should be provided from one of the residential drives and/or streets. Additionally, all parking areas visible from public streets should be screened, ensuring a visually pleasing and seamlessly integrated streetscape

- a. Product Type 6-R

Parking may be located in the sub-ground. Note that the ground floor level shall not be more than 6' above the public sidewalk. Carports or garages may be constructed in the areas where parking is permitted. Where garage doors are provided the style is to compliment the architecture. Attached and detached garages are allowed.

- F) *Signage and Lighting:* Lighting is important for public security and safety. Signage and lighting features should complement the architecture.
- G) *Screening:* Service uses such as trash storage and utility meters should be screened and not visible from the street. All mechanical equipment should be screened from public view using screening devices consistent with the adjacent architecture. Individual roll-out cans should be screened and not visible from the street to maintain a clean and appealing streetscape. If trash enclosures are necessary, they should be constructed of solid masonry materials. The minimum wall height is 6'. To enhance their aesthetics, trash enclosures should feature decorative heavy metal gates, and those visible from residences above will have trellis screening overhead, maintaining the community's visual appeal and coherence.
- H) *Design Concept:* Provide a diverse range of architectural styles throughout the community, regardless of block lengths. The focus is on ensuring that buildings front towards the street or greenspaces (See Figures 5.G and 5.H), contributing to a cohesive and welcoming streetscape. Building elevations facing public view areas are designed with significant one-story elements, including entries where

appropriate, enhancing the overall aesthetic appeal. A minimum of 5 to 8 feet of landscape space should be provided between any drive or sidewalk and the adjacent building wall, ensuring a pleasant and visually appealing pedestrian environment. For residential blocks with attached units, a paseo, at least 10 feet wide, should be provided approximately every 300 feet to allow pedestrian access from the front to the rear property lines. The inclusion of porches is encouraged, with a minimum depth of 6 feet, measured at the walking surface, adding charm and character to the homes. These porches are permitted to encroach within the setbacks. See Product Type Development Standards.

- 1) *Landscape:* Enhance architecture with complementary landscape, encouraging the incorporation of decorative arbors and shade structures throughout the community. These features can be found in various locations, such as front, side, and rear yards, recreation areas, paseos, and entries, adding visual interest and charm to the surroundings. Arbors may be constructed using wood or metal and should reflect the overall theme and character of Carleton Acres, contributing to a harmonious and aesthetically pleasing environment. In front yards, low fences or walls with a maximum height of 36 inches may be used, constructed a minimum of 18 inches behind the public sidewalk.

Figure 5.G
3-R Single-Family Medium Density Conceptual Street



Figure 5.H
3-R Single-Family Medium Density Conceptual Rear Garage



5.5 RESIDENTIAL PRODUCT TYPE DEVELOPMENT STANDARDS

5.5.1 Introduction

The Master Plan incorporates Standards and Guidelines related to residential product types. A product type is a basic residential building configuration to which specific regulations can be applied.

5.5.2 Product Type Development Standards

The Master Plan defines six product types, summarized with their variations. These Product Types encompass all of the types of residential development permitted within Carleton Acres. The Product Types represent a range of densities from single-family detached units to apartments.

Residential Product Types

1-R Large Lot Single-Family (R-1-5)



Notes: Single-Family, Detached, Street Parking Access

2-R Small Lot Single-Family (R-1-5)



Notes: Single-Family, Detached, Street Parking Access

3-R Cluster Single-Family (R-M-2 and R-M-3)



Notes: Single-Family, Detached, Street/Side or Rear Drive Parking Access

4-R Townhouses (R-M-2 and R-M-3)



Notes: Two or more units Attached, Condo or Rental, Street/Side or Rear Drive Parking Access

6-R Apartment Buildings (R-M-3)



Notes: Two or more units Attached, Condo or Rental, Side or Rear Drive Parking Access

5-R Duplexes and Four-Plex's (R-M-2 and R-M-3)



Notes: Two or more units Attached, Condo or Rental, Street/Side or Rear Drive Parking Access



| | |
|-----------------------------|---|
| Land Use | |
| Zoning | R-1-5 |
| Land Use Designation | Single-Family Residential |
| Permitted Uses | Section 3.5 |
| Conditioned Uses | Section 3.5 |
| Lot Size | 5,000 SF minimum |
| Lot Width | 60' minimum interior, 65' minimum corner |
| Building Height | 35' maximum |
| Lot Frontage | Lots front the public street |
| Setbacks (Minimum) | |
| Front | 15' Living Space 22' Garage or Parking Facilities On cul-de-sac and knuckle lots with a front line of which all or a portion is curvilinear, the front yard setback shall be no less than 15' for living space and 20' for garages. |
| Side | 5' 10' Street side on corner lot side yard and 22' for garages. |
| Rear | 20' * *Exception to rear setback to allow 7' rear setback if single story, over 1,500 SF of useable open space in the rear, minimum lot depth of 112' and allow space for accessory dwelling. |
| Parking | 2 enclosed spaces minimum for each dwelling unit |
| Wall and Fence | Section 6.8.4 |
| Landscape | Section 6.8 |
| Lighting | Section 5.4.7, 6.10 |

5.5.2.1 1-R Large Lot Single-Family (R-1-5) Development Standards



Notes: Single-Family, Detached, Street Parking Access

| | |
|-----------------------------|---|
| Land Use | |
| Zoning | R-1-5 |
| Land Use Designation | Single-Family Residential |
| Permitted Uses | Section 3.5 |
| Conditioned Uses | Section 3.5 |
| Lot Size | 5,000 SF minimum |
| Lot Width | 50' minimum interior, 55' minimum corner |
| Building Height | 35' maximum |
| Lot Frontage | Lots front the public street |
| Setbacks (Minimum) | |
| Front | 15' Living Space 22' Garage or Parking Facilities On cul-de-sac and knuckle lots with a front line of which all or a portion is curvilinear, the front yard setback shall be no less than 15' for living space and 20' for garages. |
| Side | 5' 10' Street side on corner lot side yard and 22' for garages. |
| Rear | 10' |
| Open Space | 12% minimum of site area to be open space in the rear including setbacks |
| Parking | 2 enclosed spaces minimum for each dwelling unit |
| Wall and Fence | Section 6.8.4 |
| Landscape | Section 6.8 |
| Lighting | Section 5.4.7, 6.10 |

5.5.2.2 2-R Small Lot Single-Family (R-1-5) Development Standards



Notes: Single-Family, Detached, Street Parking Access

| | |
|------------------------------|--|
| Land Use | |
| Zoning | R-M-2 and R-M-3 |
| Land Use Designation | Multi-Family Residential |
| Permitted Uses | Section 3.5 |
| Conditioned Uses | Section 3.5 |
| Lot Size (Total Site) | 2,000 SF minimum site area per dwelling unit |
| Building Height | 35' max. or three stores whichever is taller. Where R-M-2 site adjoins an R-1 site, the second stories shall be designed to limit visibility from the second and third story to the R-1 site. |
| Lot Frontage | Lots front the public street or greenspace and shall be served by a residential drive at the sides and/or rear. Buildings can be on individual lots or combined onto a single lot. |
| Setbacks (Minimum) | |
| Front | 15' Living Space 22' Garage or Parking Facilities |
| Side | 5' 10' Street side on corner lot, 10' access to more than one dwelling unit and 22' for garages. |
| Rear | 10' * 15' on a corner lot or 10' on the long side of lot. Exception if the rear yard is to be used for parking. Exception if open space is provided elsewhere. * Planned Unit Development with individual lots allow 0' setbacks, overall development shall follow the above setback requirements. |

| | |
|--------------------------------|---|
| Private Yards | Each building shall have a private yard. The yard should be 200 SF minimum. One side having a minimum 7' wide dimension. |
| Permitted Encroachments | Porches (roofed and open on 3 sides): 6' maximum Courtyards (low fenced or walled area) : 10' maximum |
| Common Open Space | 5% minimum of the site for residents. The calculated space shall not include setback areas adjacent to the street. Shared open space could include parks, playgrounds, sports courts, swimming pools, gardens and covered patios or gazebos open on at least 3 sides. The calculated space shall not include enclosed meeting or community rooms. |
| Parking | 1.5 parking spaces per dwelling unit. On-site visitor parking or parking behind garages is encouraged. |
| Wall and Fence | Section 6.8.4 |
| Landscape | Section 6.8 |
| Lighting | 5.4.7, 6.10 |

5.5.2.3 3-R Cluster Lot Single-Family (R-M-2 and R-M-3) Development Standards



Notes: Single-Family, Detached, Street/Side or Rear Drive Parking Access

| | |
|------------------------------|--|
| Land Use | |
| Zoning | R-M-2 and R-M-3 |
| Land Use Designation | Multi-Family Residential |
| Permitted Uses | Section 3.5 |
| Conditioned Uses | Section 3.5 |
| Lot Size (Total Site) | 2,000 SF minimum site area per dwelling unit |
| Building Height | 35' max. or three stores whichever is taller. Where R-M-2 site adjoins an R-1 site, the second stories shall be designed to limit visibility from the second and third story to the R-1 site. |
| Lot Frontage | Lots front the public street or greenspace and shall be served by a residential drive at the sides and/or rear. |
| Setbacks (Minimum) | |
| Front | 15' 22' Garage or Parking Facilities |
| Side | 5' (0' for attached units) 10' Street side on corner lot, 10' access to more than one dwelling unit and 22' for garages. |
| Rear | 25' * 25' on a corner lot or 20' on the long side of lot. Exception if the rear yard is to be used for parking. Exception if open space is provided else where. * Planned Unit Development with individual lots allow 0' setbacks, overall development to follow the above setback requirements. |

| | |
|--------------------------------|---|
| Permitted Encroachments | Porches (roofed and open on 3 sides: 6' maximum Courtyards (low fenced or walled area) : 10' maximum |
| Common Open Space | 5% minimum of the site for residents. The calculated space shall not include setback areas adjacent to the street. Shared open space could include parks, playgrounds, sports courts, swimming pools, gardens and covered patios or gazebos open on at least 3 sides. The calculated space shall not include enclosed meeting or community rooms. |
| Parking | 1.5 parking spaces per dwelling unit. On-site visitor parking or parking behind garages is encouraged. |
| Wall and Fence | Section 6.8.4 |
| Landscape | Section 6.8 |
| Lighting | Section 5.4.7, 6.10 |

5.5.2.4 4-R Townhouses (R-M-2 and R-M-3) Development Standards



Notes: Two or more units Attached, Condo or Rental, Street/Side or Rear Drive Parking Access

| | |
|------------------------------|--|
| Land Use | |
| Zoning | R-M-2 and R-M-3 |
| Land Use Designation | Multi-Family Residential |
| Permitted Uses | Section 3.5 |
| Conditioned Uses | Section 3.5 |
| Lot Size (Total Site) | R-M-2 2,000 SF minimum site area per dwelling unit R-M-3 1,200 SF minimum site area per dwelling unit |
| Building Height | 35' max. or three stores whichever is taller. Where R-M-2 or R-M-3 site adjoins an R-1 site, the second stories shall be designed to limit visibility from the second and third story to the R-1 site. |
| Lot Frontage | Lots front the public street or greenspace and shall be served by a residential drive at the front and/or sides and/or rear. |
| Setbacks (Minimum) | |
| Front | 15' 22' Garage or Parking Facilities |
| Side | 5' (0' for attached units) 10' Street side on corner lot, 10' access to more than one dwelling unit and 22' for garages. |
| Rear | 15' R-M-3 and 25' R-M-2 * 25' on a corner lot or 20' on the long side of lot. Exception if the rear yard is to be used for parking. Exception if open space is provided else where. * Planned Unit Development with individual lots allow 0' setbacks, overall development to follow the above setback requirements. |

| | |
|--------------------------------|---|
| Private Yards | Each building shall have a private yard. The yard shall be 200 SF minimum. One side having a minimum 7' wide dimension. |
| Permitted Encroachments | Porches (roofed and open on 3 sides): 6' maximum Courtyards (low fenced or walled area) : 10' maximum |
| Common Open Space | 5% minimum of the site for residents. The calculated space shall not include setback areas adjacent to the street. Shared open space could include parks, playgrounds, sports courts, swimming pools, gardens and coved patios or gazebos open on at least 3 sides. The calculated space shall not include enclosed meeting or community rooms. |
| Parking | 1.5 parking spaces per dwelling unit. On-site visitor parking or parking behind garages is encouraged. |
| Wall and Fence | Section 6.8.4 |
| Landscape | Section 6.8 |
| Lighting | Section 5.4.7, 6.10 |

5.5.2.5 5-R Duplexes and Four-Plex's (R-M-2 and R-M-3) Development Standards



Notes: Two or more units Attached, Condo or Rental, Street/Side or Rear Drive Parking Access

| | |
|------------------------------|---|
| Land Use | |
| Zoning | R-M-3 |
| Land Use Designation | Multi-Family Residential |
| Permitted Uses | Section 3.5 |
| Conditioned Uses | Section 3.5 |
| Lot Size (Total Site) | 1,200 SF minimum site area per dwelling unit |
| Building Height | Four stores maximum |
| | Where R-M-3 site adjoins an R-1 site, the second stories shall be designed to limit visibility from the second and third story to the R-1 site. |
| Lot Frontage | Lots front the public street shall be interconnected with other lots within the block by common drives. Such common drives or private streets, shall be designed as a continuous route. |
| Setbacks (Minimum) | |
| Front | 15' |
| | 22' Garage or Parking Facilities |
| Side | 5' (0' for attached units) |
| | 10' Street side on corner lot, 10' access to more than one dwelling unit and 22' for garages. |
| Rear | 15' * |
| | Exception if the rear yard is to be used for parking. |
| | Exception if open space is provided else where. |
| | * Planned Unit Development with individual lots allow 0' setbacks, overall development to follow the above setback requirements. |

| | |
|--------------------------------|---|
| Permitted Encroachments | Porches (roofed and open on 3 sides: 6' maximum Courtyards (low fenced or walled area) : 10' maximum |
| Common Open Space | 5% minimum of the site for residents. The calculated space shall not include setback areas adjacent to the street. Shared open space could include parks, playgrounds, sports courts, swimming pools, gardens and coved patios or gazebos open on at least 3 sides. The calculated space shall not include enclosed meeting or community rooms. |
| Parking | 1.5 parking spaces per dwelling unit that includes on-site visitor parking. |
| Wall and Fence | Section 6.8.4 |
| Landscape | Section 6.8 |
| Lighting | Section 5.4.7, 6.10 |

5.5.2.6 6-R Apartments – Multi-Family (R-M-3) Development Standards



Notes: Two or more units Attached, Condo or Rental, Side or Rear Drive Parking Access

5.5.3 Model Good Neighbor Policies

The City of Visalia requires an operational management plan for R-M zones. The City shall approve the plan for long term maintenance and management of the development. (View the City code section referencing the Model Good Neighbor Policies).

The plan shall include but not be limited to the following:

- Maintenance of landscaping.
- Maintenance of private drive and open space parking.
- Maintenance of fences, on-site lighting and other improvements not along the public street frontages.
- Buildings and premises shall be kept in good repair and free of junk and debris.
- Establish and maintain a regular program of routine property maintenance.
- Provide a tenant agreement form. All tenants shall read and receive a copy of the Tenant Agreement.
- Enforcing all provisions covered by covenants, conditions and restrictions that are placed on the property.
- Enforcing all provisions of the Model Good Neighbor Policies as specified by Resolution of the Planning Commission.

Before issuance of a building permit for the project the plan shall be submitted, approved by the Planning Director and recorded with the Tulare County Recorder.

5.6 RESIDENTIAL ARCHITECTURAL DESIGN GUIDELINES

5.6.1 Introduction

The following residential architectural design guidelines provide those design criteria necessary to assure that all residential design is consistent with Carleton Acres' goals for neighborhood character as defined in this Section.

5.6.2 General Residential Standards

These Standards apply to all Residential Product Types and architectural styles. They are not meant to be restrictive but rather to assist in the design for a higher-level quality in architectural and community design.

- a) The standards are based on the following for good neighborhood design:
 - a. Entrance directed to street or greenspace if possible
 - b. Varied garage placement
 - c. Variable lot setbacks
 - d. Varied roof pitches
 - e. Variety of architectural styles
 - f. Wrap around architecture
- b) The architectural styles should be appropriate in massing, scale, and details for the architectural character.
- c) Design elements to be avoided are continuous flat blank walls when exposed to public view and harsh contrasts of materials and colors.
- d) Sides and rears of residential garage structures exposed to public view should receive the same level of architectural enhancement as the fronts of the residential structure.

5.6.3 Residential Architectural Guidelines

Purpose

The purpose of the residential architectural design guidelines is to provide design criteria and direction for the development of various product types. The styles and quality of architectural design are described in the following sections.

Desired Design Characteristics

The architectural style should be incorporated into the site plan, landscape and floor plan.

Design Characteristics to Avoid

- a) Inappropriate mass, scale and proportion.
- b) Extreme architectural style.
- c) Continuous flat blank walls when exposed to public view.
- d) Harsh contrast of materials and colors.

Design Guidelines

The following guidelines should be used for a desired result and to assist the Builder/Developer in providing architectural design appropriate for Carleton Acres.

1. Architectural authenticity:
 - a. Develop floor plans and massing solutions that will be authentic to the architectural style.
 - b. Architectural detail should be as authentic as possible.

2. Architectural forward: Provide a mix of floor plans that includes pushing garages back and bringing the living spaces forward.
3. Varied garage placement: Encourage floor plan design that minimizes the impact of the garage on home and street.
4. Variety of architectural styles: Provide a variety of architectural styles that are historically based in the Central Valley region.
5. Varied roof heights and roof pitches. Varied hip and gable forms.
6. Varied front yard setbacks: Encourage variations in front yard setbacks to avoid monotony.
7. Wrap around architecture: Provide architectural enhancement of side and rear elevations exposed to public view.
8. Single- and two-story homes and elements: Create a sense of variety within a street scene with varying heights and profiles. Single story homes are encouraged to be located at street corners.
9. Rear and side architectural treatment: Provide the same architectural treatment as the front when the rear or side is exposed to public view.
10. Color palettes: Define a selection of style-specific colors for architectural styles.
11. Authentic or natural-looking building materials are encouraged. These include wood, brick, smooth plaster, stone, and roof tile as listed in the following standards for each style.

5.6.3.1 Standards for Architectural Styles

These standards govern the stylistic aspects of the design of residential buildings and site elements within the Master Plan Area. They address all major residential elements that are visible from public streets and/or open spaces.

5.6.3.2 Allowable Styles

The allowable styles and variations of the styles are:

Craftsman

Monterey

Spanish Colonial Revival

American Heritage

Ranch

Modern

5.6.3.3 Architectural Standards for Each Style

The following section includes standards specific to each of the allowable styles. The photographs and text provided on the following pages represent the elements of each architectural style to be incorporated in Carleton Acres' residential architecture. The photos represent concepts. Designs are subject to future refinement based upon the economy, marketing and engineering details.



Craftsman

History

The Craftsman style is charming with custom details. Influenced by the Arts and Crafts movement, The American style emerged between 1900 and 1929. The style is a simpler form of the ornate Victorian architecture at the end of the 19th century.

Design Characteristics

- Deep overhangs.
- Exposed rafter tails.
- Low-pitched, gabled, or hipped roof.
- Covered front porch.
- Flat tile roofs.
- Faux wood siding: horizontal, vertical, or shingle.
- Stucco.
- Stone or brick base.
- Garage door patterns complementary to style.

Additional Style Elements

- Porch columns with stone base.
- Tapered columns.
- Grid pattern windows.



Historic Design



Current Adaptation

Monterey

History

The Spanish style is a combination of Spanish Colonial adobe construction methods with New England colonial house. Built in the 1800's throughout California with two stores. The single story became very popular during the 1930's.

Design Characteristics

- Simple building form.
- Symmetrical or asymmetrical building masses.
- Shutters, balconies and verandas.
- Barrel or "S" tile roofs.
- Shallow or medium roof pitch featuring gables or hips, often with exposed rafter tails.
- Fine sand to California Monterey stucco finish.
- White vinyl wrap aluminum windows are allowable.
- Round tile attic vents.
- Garage door patterns complementary to style.

Additional Style Elements

- Simplified colonial style window and door trim.



Historic Design



Current Adaptation

Spanish Colonial Revival

History

The style became popular during the early 1900's. Courtyard designs with shade and flowering gardens were a welcoming entrance. Key features of this style are adapted throughout California. The charm of the style is within its directness and contrast of materials and textures.

Design Characteristics

- Simple box plan form.
- Barrel or "S" tile roofs.
- Shallow or medium roof pitch featuring gables or hips.
- Fine sand to California Monterey stucco finish.
- White vinyl wrap aluminum windows are allowable.
- Round tile attic vents.
- Garage door patterns complementary to style.
- Simplified colonial style window and door trim.

Additional Style Elements

- Ornamental ironwork.
- Wood looking sash windows at front elevation.
- Deep, recessed windows at front elevation.



Historic Design



Current Adaptation

American Heritage

History

The American Heritage represents a practical and quaint country house. As American Frontier moved westward the style evolved depending on the available materials. The asymmetrical causal farmhouse look with a more detailed appearance is typical of Midwest American Heritage.

Design Characteristics

- Large front porches with wood railings.
- Horizontal or vertical siding blended with stucco finish.
- Wood shingle appearance roofs.
- Medium or steep roof pitch with gables.
- Simple paned windows.
- Garage door patterns complementary to style.

Additional Style Elements

- Dormers and symmetrical elevations.
- Simple wood railings.
- Shutters
- Architectural grade asphalt shingle.



Historic Design



Current Adaptation

Ranch Heritage

History

The Ranch Heritage represents a practical and charming rural country house. As American Frontier moved westward the style evolved depending on the available materials.

Design Characteristics

- One and two story “L”, “U” or rectangular plan forms.
- Front porch and porte cochere are common features.
- Main hip or gable roof, possible secondary shed roofs over one story element.
- Barrel, S-shaped or flat concrete roof tile with 18” overhangs.
- Medium roof pitch.
- Fine to medium stucco finish with large areas of stone veneer usually the full wall height.
- Minimum 6” wide stucco over window and door trim at front elevations.
- Garage door patterns complementary to style.

Additional Style Elements

- Thick, oversize arches without trim.
- Shutters
- Tower forms.
- Earth color palette-beige, tan, yellow.
- Possible ornamental iron details



Historic Design



Current Adaptation

Modern

History

The Modern house style, prevalent from the early 20th century to the mid-1950s, emerged as a response to the ornate Victorian design of the late 19th century. The style is characterized by minimalist architectural elements, oversized windows, and unconventional flat roofs.

Design Characteristics

- Simple rectangular plan forms.
- Hip or flat roof
- Medium roof pitch with concrete roof tiles.
- Fine to medium stucco finish.
- Simple facades with no decorations.
- Emphasis on entrance door contemporary design.
- Garage door patterns complementary to style.

Additional Style Elements

- Large windows



Historic Design



Current Adaptation

Landscape

6.0

The landscape design for Carleton Acres takes inspiration from its rich agricultural background to create a unique and meaningful environment for the new community. The design aims to pay homage to the land's farming heritage while incorporating elements that reflect the region's agricultural legacy.

To evoke the memory of cotton fields, the landscape will feature white trailing roses and other white flowering plants. These white blooms symbolize the cotton bolls, creating a beautiful and nostalgic connection to the land's agricultural past. Incorporating a variety of grasses in the landscape design represents the grain row crops. These grasses not only add visual interest but also evoke the sense of expansive grain fields that were a prominent feature of the area's agricultural landscape.

Vines will be used strategically on walls and trellises throughout Carleton Acres. These vines serve as a reminder of the vineyards farmed on the property and contribute to the overall aesthetic, adding a touch of rustic charm and natural beauty.

By incorporating these elements into the landscape design, Carleton Acres will foster a deep connection to its agricultural roots while creating a visually appealing and harmonious environment. The design will not only be aesthetically pleasing but also serve as a unique way to honor the land's history and the legacy of Carleton Shannon's farming passion.



Section 6 Landscape

6.1 INTRODUCTION

The Specific Plan of Carleton Acres outlines comprehensive design standards for all open spaces, encompassing streets, the Modoc Greenway, bike and pedestrian trails, parks, and landscaped areas. These standards serve as guidelines for the detailed design of public open spaces within the community, describing landscape design principles and requirements. More detailed landscape and irrigation plans will be subjected to review by the Architectural Board and City Agencies to ensure they align with the design character and standards established in this Specific Plan.

The open space area design holds significant importance in shaping the identity of Carleton Acres, as these public spaces play a crucial role in defining the overall theme of the entire community. The street open spaces, in particular, act as vital connections within the community, promoting pedestrian use and encouraging a sense of community interaction and engagement. The meticulous planning and thoughtful design of these open spaces contribute to the cohesive and attractive ambiance of Carleton Acres, enhancing its appeal as a desirable place to live and thrive.

Design principles and standards are discussed first in this section. Design concepts will be refined as details of the street engineering develop. The basic landscape quality should be applied. Final detailed designs should be reviewed and approved per Section 8.

6.2 DESIGN PRINCIPLES

Below are the design principles that all landscape design should follow:

- Establish a sense of place: In Carleton Acres, the establishment of a distinct sense of place is a priority, with the public streets being the key open space areas for conveying the community's identity and theme. The thoughtful design of these public spaces aims to create a recognizable and cohesive character unique to Carleton Acres, ensuring that residents and visitors alike recognize and appreciate the community's distinctiveness and thoughtful planning.
- Provide a diverse range of open spaces: Open Spaces and Parks are to be designed to encompass the essential recreational needs of both the community and individual neighborhoods. These areas play a crucial role in enhancing the overall identity of Carleton Acres and are to be carefully planned to offer a diverse range of recreational opportunities, catering to both passive and active activities, and creating an inviting and enjoyable environment for all residents and visitors.
- Provide plants and landscaping design that is sustainable: The planting of low water use, drought-tolerant, and/or native plants indigenous to the Central Valley is actively encouraged to promote water conservation and environmentally sustainable landscaping practices.
- Landscape design should incorporate theme plantings such as white trailing roses to symbolize cotton, vines to represent vineyards, and grasses to evoke the image of grain row crops,

adding to the overall aesthetic and identity of the community.

- Neighborhood Identity: Carleton Acres embraces the concept of distinct neighborhood designs, allowing each area to showcase its own unique characteristics and identity. As a result, the landscape design of each neighborhood can be tailored to reflect its individuality.
- Water storage/storm basin incorporated into open space: The facilities of Carleton Acres' stormwater management should be designed as open space use for the community.
- Provide landscape buffers: The landscape buffer and transitions along the boundaries of Carleton Acres create a clear and distinct sense of place for the community, enhancing its visual appeal and contributing to a cohesive and well-defined environment.

6.3 STREET PLAN

6.3.1 Introduction

This section discusses the possible type of landscape treatment for each of Carleton Acres' streets, pedestrian paths and bicycle circulation.

6.3.2 Arterial Streets

6.3.2.1 West Riggin Avenue

West Riggin Avenue is Carleton Acres' primary east-west arterial. The type of trees suggested are Valley Oak, Crape Myrtle (white), and/or Chinese Pistache. Fruitless olive trees or similar at entrances into Carleton Acres and commercial. Plantings along streets to include

grass & white flowers. Block walls adjacent to residential should have vine plants to soften the wall.

6.3.2.2 North Akers Street

North Akers Street is Carleton Acres' secondary north-south arterial. The type of trees suggested are Valley Oak, Crape Myrtle (white), and/or Chinese Pistache. Fruitless olive trees or similar at entrances into Carleton Acres and commercial. Plantings along streets to include grass & white flowers. Block walls adjacent to residential should have vine plants to soften the wall. See Figures 6.K to 6.N for landscape planting types along Modoc.

6.3.2.3 North Shirk Road

North Shirk Road is Carleton Acres' primary north-south arterial. The type of trees suggested are Valley Oak, Crape Myrtle (white), and/or Chinese Pistache. Fruitless olive trees or similar at entrances into Carleton Acres and commercial. Plantings along streets to include grass & white flowers. Block walls adjacent to residential should have vine plants to soften the wall.

6.3.2.4 Avenue 320

Avenue 320 is Carleton Acres' secondary east-west arterial. The type of trees suggested are Valley Oak, Crape Myrtle (white), and/or Chinese Pistache. Fruitless olive trees or similar at entrances into Carleton Acres and commercial. Plantings along streets to include grass & white flowers. Block walls adjacent to residential should have vine plants to soften the wall.

6.3.3 Two Lane Collector Streets

6.3.3.1 Shannon Parkway

Shannon Parkway should have a strong sense of place. The Modoc Greenway runs along the entire width of the Site, North of the street. The southeast portion of the parkway includes the existing middle school and planned high school. The proposed landscape treatment includes canopy trees spaced at 50 feet on center. The trees should provide a strong distinctness of the street edge and a clear separation of pedestrians from vehicular traffic. Trees should be planted in both parkways and in the proposed median. The canopy should create a shaded pedestrian path. Large shrubs should be used within the median to discourage pedestrians and students from crossing other than at designated crosswalks. See Figures 6.K to 6.N for landscape planting types.

6.3.3.2 North Roeben Street

North Roeben Street at the center of the Site will be a main street for the residents coming from the south going towards the north. A similar plant choice as Shannon Parkway can give a strong identity for the community. The intersection of N. Roeben St. and Shannon Parkway should be carefully designed as well as the intersection of N. Roeben St. and W. Riggin Ave. The proposed landscape treatment includes canopy trees spaced at 50 feet on center. The trees should define the street edge and separate pedestrians from vehicular traffic. Trees should be planted in both parkways and in the proposed median. The canopy should create a shaded pedestrian path. The median should be planted with large shrubs to discourage crossings other than at crosswalks. See Figures 6.K to 6.N for landscape planting types.

6.3.4 Local Streets

Parkway landscape per City Standards is 5 feet along the street with a 5-foot-wide sidewalk.

Trees should be spaced approximately 40 feet on center depending on the location of driveways. They should be scaled with the streetlights. Regularly spaced trees with one species per street selected from the plant list is highly encouraged. See Figures 6.K.

6.3.5 Commercial Drive Aisles

Along commercial storefronts sidewalks should range in width from 8 to 20 feet. Street trees should be planted in a minimum 8 feet square planters. Tree grates, flush with pavement, may be used for maximum sidewalk area. Canopy trees should be used throughout the drives spaced 40 to 50 feet on center. Special paving should be utilized at the main entrances of commercial uses and at crosswalk crossings to create visually appealing and distinct areas. The landscape design should be carefully curated to complement the commercial architecture, incorporating elements like trellised outdoor areas. Furthermore, the pedestrian's comfort and scale will be prioritized in the design process, ensuring a welcoming and pleasant environment for pedestrians throughout the community.

6.3.6 Residential Block Entrances

In Carleton Acres, each neighborhood block entrance should be thoughtfully designed to be unique yet cohesive with the overall identity and theme of the community. The landscape design should be carefully planned to highlight and accentuate these entrances, creating a welcoming and distinctive sense of arrival. Special paving should be utilized to mark the entry points into the neighborhoods,

and where applicable, medians may be incorporated to separate traffic entering and exiting the area, with coordinated landscape elements enhancing the overall aesthetics.

Figure 6.A
Residential Conceptual Entrance



6.4 PARK DESIGN PLAN

6.4.1 Introduction

The design concept for Modoc Greenway, parks, and open landscaped areas is outlined in this section of the plan. Detailed designs will be developed for each open space, encompassing both active and passive recreational elements. With recreational opportunities including a bike trail along Modoc Greenway and several proposed parks integrated within residential communities, Carleton Acres is thoughtfully planned to offer a diverse range of recreational experiences for its residents and visitors.

6.4.2 Design Concepts

6.4.2.1 Modoc Greenway

Modoc Ditch is an existing site feature that begins at two points along the east property line. The first is on the east side of the Ridgeview Middle school and then travels north to the center of the project. The second is from the southwest corner of Ave 320 and N. Akers Street that travels down along the east property line to the center of the project (Shannon Parkway). The two ditches join at this point then continue west to N. Shirk Street.

The existing Modoc Ditch will become an amenity to residents within Carleton Acres and beyond known as Modoc Greenway. The Modoc Greenway will have a linear bike and walking trail along the north side of Shannon Parkway and the West side of N. Akers St. A bioswale will run parallel with the trail providing added landscape features. See Figure 6.C. Tree clusters will provide shade for the users. The trail will serve as a vital connector, linking residential areas to the school sites and creating seamless accessibility throughout the entire Carleton Acres development. Refer to Figure 3.B.

6.4.2.2 Parks

The parks within residential neighborhoods of Carleton Acres are designed to range from 0.8 to 1 acre in size, providing ample recreational space for residents. Each park should be equipped with essential amenities, including an open grass area, playground, picnic spots, barbeque grills, seating, and drinking fountains, ensuring a welcoming and enjoyable environment for all. To enhance year-round usability, shade trees are thoughtfully incorporated, offering relief from the sun and creating inviting spaces for community gatherings. The landscaping of these parks prioritizes environmental

sustainability, with a focus on low water use, drought-tolerant, and/or native plant species, contributing to water conservation efforts. Additionally, the strategic placement and design of these parks aim to encourage community interaction and socialization, creating a strong sense of community and connection among the residents of Carleton Acres.



Figure 6.B
Park Conceptual Designs



6.5 EDGES AND BUFFERS STANDARDS

6.5.1 Introduction

Carleton Acres will be carefully planned to maintain a clearly defined edge and buffer, ensuring a distinct boundary for the community while also demonstrating respect for the neighboring adjacent communities. The thoughtful design and implementation of these features will contribute to a harmonious and well-integrated development within the broader context of the surrounding area.

6.5.2 Design Concept

6.5.2.1 W.Riggin Ave., N. Shirk Rd., Ave 320, N. Akers St., Shannon Parkway and N. Roeben St.

The Carleton Acres Specific Plan incorporates continuously landscaped corridors along four boundaries and major streets within the community to enhance the overall environment. These buffers serve multiple purposes, including creating a sense of privacy, establishing neighborhood boundaries, facilitating smooth transitions between different land uses, and mitigating noise. Along the streets, a parkway and sidewalk will be accompanied by a maximum 7-foot-tall 4-inch block wall, which will be softened with landscaping and/or vines to add aesthetic appeal and promote a welcoming streetscape.

6.5.2.2 Commercial Use

To ensure the privacy and noise reduction for residential areas, a buffer should be established between commercial and residential uses in Carleton Acres. This buffer will consist of a 7-foot-tall 4-inch block wall on the commercial side, complemented by landscaping. This thoughtful design approach will create a visual and acoustic

barrier, enhancing the living experience of residents and maintaining a harmonious coexistence between commercial and residential zones within the community.

6.5.2.3 Modoc Greenway

The Modoc Greenway will serve as a valuable buffer along Shannon Parkway, benefiting both multi-family and single-family residential residents in Carleton Acres. The inclusion of a riparian edge along the bioswales will attract diverse wildlife species, enhancing the natural appeal of the area. To promote environmental conservation, a mix of native trees, including Valley Oak, Interior Oak, Sycamore, and Mexican Redbud, should be planted along the bioswales, while native shrubs like Mexican Sage bush, Dwarf Coyote Brush, and California Manzanitas are planned to line the bicycle/walking path. The native landscaping and wildlife attracted by the Modoc Greenway will have positive impacts on the entire north Visalia community, adding to the overall ecological richness of Carleton Acres.

See Figures 6.K to 6.N for Preferred Tree, Plant, Shrub, Grass Selections.

Figure 6.C
Modoc Greenway Conceptual Designs



6.6 WATER STORAGE/RECHARGE BASIN PLAN

The Landscape Master Plan for Carleton Acres includes thoughtful landscaping to visually enhance the edges of the proposed basins, elevating their aesthetics and overall appeal. To ensure safety and proper maintenance, access to the basins should be restricted with appropriate fencing. The edge landscaping is planned to feature low water use, drought-tolerant, and/or native plants, contributing to water conservation and environmental sustainability. Additionally, the trail on the western portion of the basin will be thoughtfully designed in coordination with the proposed basin, providing residents with an enjoyable pathway.

6.7 OTHER OPEN SPACES

6.7.1 Community Sports

The Carleton Acres Open Space Plan aims to collaborate with the school district to establish an agreement that allows community access to school play fields outside of school hours. This arrangement will provide opportunities for various programs and activities, such as sports events that may utilize baseball, football, or soccer fields, fostering a sense of community engagement and encouraging active recreational opportunities for residents beyond regular school hours.

6.7.2 Pedestrian and Bicycle Circulation

The pedestrian and bicycle circulation within Carleton Acres plays a crucial role in connecting various components of the community. Some streets in the project incorporate a dedicated bike lane adjacent to the curb. Many streets incorporate a dedicated bike path adjacent to the sidewalk for safety from traffic for pedestrians and bicyclists. Sidewalks are positioned on both sides of streets, facilitating safe access throughout the entire community. Moreover,

the Modoc Greenway will offer a pedestrian and bicycle path along the bioswales, further promoting active transportation options and enhancing the overall connectivity and accessibility within Carleton Acres. See Figure 2.D and 3.B.

6.8 SITE LANDSCAPE STANDARDS

This section defines the basic character and design standards for all open spaces in Carleton Acres. The improvements by Developers/Builders shall apply the standards to their designs.

6.8.1 Site Landscape Standards

- Each landscape and open space within Carleton Acres should incorporate a unifying theme, contributing to a cohesive and harmonious community design.
- Trees should serve the dual purpose of providing shade to protect from the sun and defining the outdoor spaces within the community.
- Landscape elements at the edges and buffer areas to enhance the project's visual appeal and create a sense of privacy. Landscaping should play a significant role in defining smooth transitions between adjacent land uses, ensuring a harmonious coexistence within the community.
- The landscaping of open spaces should enhance the architecture and contribute to the overall aesthetic and appeal of the development.
- Arbors, trellises, and other elements may be incorporated to enrich the pedestrian experience and add to the overall ambiance of the community.
- Off-street parking along streets should be screened with trees and shrubs.

- The placement of trees and plants should not interfere with lighting, fire hydrants or fire alarm boxes.

6.8.2 Off-Street Parking

The City of Visalia's Zoning Ordinance shall be used to determine required parking for each Commercial use. The following standards apply to landscaping of off-street parking at Commercial uses.

- Shade trees should be distributed throughout the parking area.
- A minimum of 10% of the parking lot with more than 20 parking spaces should be landscaped and maintained. No more than ten consecutive parking stalls should be allowed without an approved landscape tree well of eighty square feet or more.
- A minimum 5-foot landscape strip should be provided outside the public right of way along the street frontage perimeter of all proposed parking.
- Parking areas along the public streets or when across from residential property should be screened. A suggestion is a low, evergreen shrub at least 36" in height at two-year growth or a 3-foot tall solid wall.
- No parking should be provided in a required front/rear/side yard. Exception is drive aisles within multi-family density with a min. of 5' landscape buffer at rear yard.
- All parking lots should be designed to provide a tree canopy to provide shade in the hot seasons and sunlight in the winter months.

The following standards apply to landscaping of off-street parking at Multi-Family Residential Uses.

- Front carport area should have a 3 to 6-foot tall screening wall.

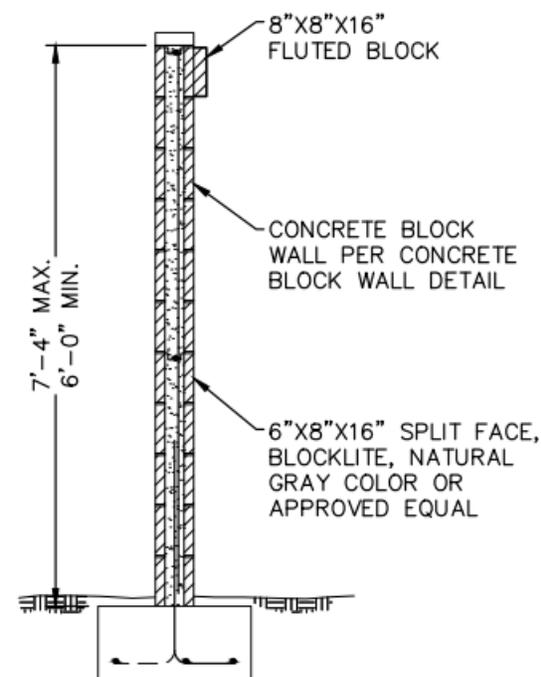
6.8.3 Service/Loading Area and Trash Enclosures

- Loading and service areas with landscape or architectural elements such as walls should be screened. These areas should be concealed from the public streets, sidewalks and adjacent buildings.
- Prohibit off-site vehicle loading, design for multiple truck access points.
- Utility and communication equipment should be screened.
- Any storage areas should be screened with similar materials as the building and shall complement the design.
- Trash enclosures with solid gates should be screened.
- Shopping cart storage areas should be provided.

6.8.4 Wall and Fence Standards

- Use walls and fences for security, visual screening and aesthetic purposes. Water Storage/Recharge Basin should be fenced and only allow access for maintenance purposes.
- Walls and fences should be coherent with the architecture of adjacent building.
- Use landscaping to vary walls. Walls should be covered with vine to discourage graffiti and enhance the appearance of fence and/or wall.
- Walls located along arterial or collector streets adjacent to single family residential should be masonry not exceeding 7 feet 4 inches in height.

**Figure 6.D
Wall Detail**



- Walls located along arterial or collector streets adjacent to multi-family residential should be masonry or wrought iron not exceeding 7 feet 4 inches in height. A pedestrian access should be required if a transit stop is located within ¼ mile.
- When commercial use is adjacent to residential a masonry wall not less than 7 feet 4 inches should be required.
- Walls and fences for residential at the front setback should be maximum of 3 feet tall and complement the architecture.

6.8.5 Paving Design Standards

These standards should be provided for pedestrian pavements on private property that include sidewalks, paths, walkways and plazas.

- Slip free surface texture.
- Maintenance-free and/or low maintenance.
- Stain-resistant, fade resistant, non-reflective.

Acceptable paving materials:

- Concrete: Broom, salt, or heavy sandblasted.
- Colored concrete.
- Stamped and saw-cut.

6.8.6 Plant Material and Planting Design

- Provide simple and bold landscape planting designs that incorporate low water and/or drought-tolerant plants that can be maintained easily.
- Landscaping along public streets should blend with the developed parcels.
- Street trees an average of 40 to 50-feet on center along frontages should be provided. All street trees to be a minimum 15-gallon size. Ground cover to be placed 36" on center maximum spacing.
- All landscape areas should be protected with 6-inch concrete curbs.
- Provide a mix of planting material sizes.
- Select plants suitable to the soil and climatic conditions of the site.
- Use low water and/or drought-tolerant plants to minimize water use.
- Space trees and shrubs considering their mature size.

- All landscape improvements should meet the requirements of the City of Visalia.
- See Figure 6.K to 6.O for tree and plant selections recommended for Carleton Acres.

6.8.7 Irrigation Standards

- Provide adequate irrigation while conserving water. Irrigate all permanently landscaped areas with a permanent underground irrigation system operated by an automatic irrigation controller.
- In areas where native or drought-tolerant plants are used a drip irrigation system should be installed.
- Apply irrigation in short intervals to reduce runoff to paved areas.
- Ensure irrigation water is not on walks, driveways, walls, fences and buildings.
- Provide approved backflow preventers on all systems.
- Screen irrigation equipment from public view.
- All irrigation installation shall meet the requirements of the City of Visalia.

6.8.8 Landscape Maintenance Standards

- Maintain all landscape areas including trees, shrubs, ground covers and vines.
- Remove damaged, dead or diseased plants and replace with similar in terms of type, size and location.
- Remove overgrown or oversized plants to keep the area safe.
- Prepare and provide maintenance specifications on landscape plans describing the irrigation, pruning, weeding, fertilizer application and other maintenance items for all landscaped areas.

- All landscape maintenance shall meet the requirements of the City of Visalia.

6.8.9 Street Furniture

Throughout Carleton Acres, a consistent selection of street furniture items, including street lights, mailboxes, benches, trash receptacles, and more, should be used to establish a unified theme that enhances both pedestrian and vehicular circulation, reinforcing the overall design intent of the community and complementing its landscape theme.

6.9 SIGNAGE STANDARDS

6.9.1 Introduction

All signage must be in conformance with the requirements of the City of Visalia. The Developer/Builder must prepare and submit a signage master plan as part of their submittal package for review and approval by the Architectural Design Committee and the City of Visalia. Permanent and temporary signage with Carleton Acres includes:

- *Project Identity:* Signs which identify groups of commercial or residential. Design will be similar to pole-mounted and monument signs for private commercial and residential development.
- *On-Building:* Building identification signs containing names and/or addresses.
- *Public Transportation Signage:* Possible bench and shelter signs.
- *Ground-Mounted Traffic Control:* Stops signs, etc.

- *Directional/Wayfinding:* Signs on pedestrian and/or vehicular circulations that assist in reaching particular areas within Carleton Acres.
- *Temporary and Advertising Signs:* Identification, construction, advertising, etc.
- *Street Signs:* Should be located per City requirements. Carleton Acres signs that are decorative in character and which blend with the architectural style are encouraged.
- *Regulatory Signs:* Should incorporate decorative supports in attractive colors, provided they meet City and County standards for size, location and design.

6.9.2 Signage Design Theme

The incorporation of design elements reminiscent of cotton hauling wagons and cotton gins adds a nostalgic and authentic touch to the overall landscape of Carleton Acres. The wood fencing design, inspired by cotton hauling wagons, brings a rustic and traditional feel to the community. This design choice not only pays tribute to the area's agricultural past but also contributes to the cohesive theme throughout the development.

Drawing inspiration from the appearance of cotton gins, the use of metal siding and large paned windows in certain structures within Carleton Acres adds an industrial and historical touch. This design element gives a nod to the processing and manufacturing of cotton, which played a crucial role in the region's agricultural history.

Using light-colored stone in the landscape design, akin to the color of white cotton, further reinforces the homage to the crop that once flourished in the area. This choice of stone brings a soft and elegant touch to the surroundings, complementing the other design elements and creating a cohesive and harmonious environment.



By thoughtfully incorporating these design features that draw inspiration from the cotton industry's history, Carleton Acres creates a unique and evocative atmosphere that celebrates the region's agricultural heritage. The landscape and architectural choices intertwine with the community's identity, fostering a sense of pride and appreciation for the land's past while creating a beautiful and inviting place to call home.

6.9.3 General Signage Standards

All signage within Carleton Acres must adhere to a high level of design quality and consistency with the architectural and landscape character of the community. This includes ensuring that signage materials, scale, size, placement, integration with building design, texture, color, and illumination align harmoniously with the overall building and site design, contributing to a cohesive and visually appealing environment.

Traffic control signs in public streets should conform to the City of Visalia Standards.

The Carleton Acres logo and typestyle should be used uniformly on all public area signs.

C – Gabriola

A – Swiss721 Lt Bt

arleton cres – Bell MT

Freestanding Monument Signs are encouraged because of the eye-level low horizontal information.

6.9.4 Residential Entrance Signs:

Residential entrance signs should continue the theme of Carleton Acres. Conceptual designs are shown in Figure 6.E and 6.F.

- Maximum number of two signs per individual residential entrance.
- Entrance signs may be attached to a wall, fence, or project identification feature located at or within 100 feet of the entrance to a development.
- Signs may be externally or internally illuminated.
- Refer to the City of Visalia's Sign Ordinance for maximum size and height of signs.

Figure 6.E
Residential Entrance Conceptual Plan



Figure 6.F
Residential Entrance Conceptual Designs



6.9.5 Monumental/Theme Signs:

To create a cohesive community with a common theme, Carleton Acres will feature a minimum of three monumental/theme signs strategically placed at the following possible locations: Riggin and Roeben, Akers and Shannon Parkway, and Shirk and Shannon Parkway intersections. Additionally, Residential Entrance Signs may also be utilized as Theme sign locations, further reinforcing the community's identity and theme. See Figure 6.G for possible locations and Figure 6.H for conceptual designs.

- Signs may be attached to a wall located at or within 100 feet of the intersection.
- Signs may be externally or internally illuminated.

Figure 6.G
Monumental/Theme Signage
Conceptual Locations

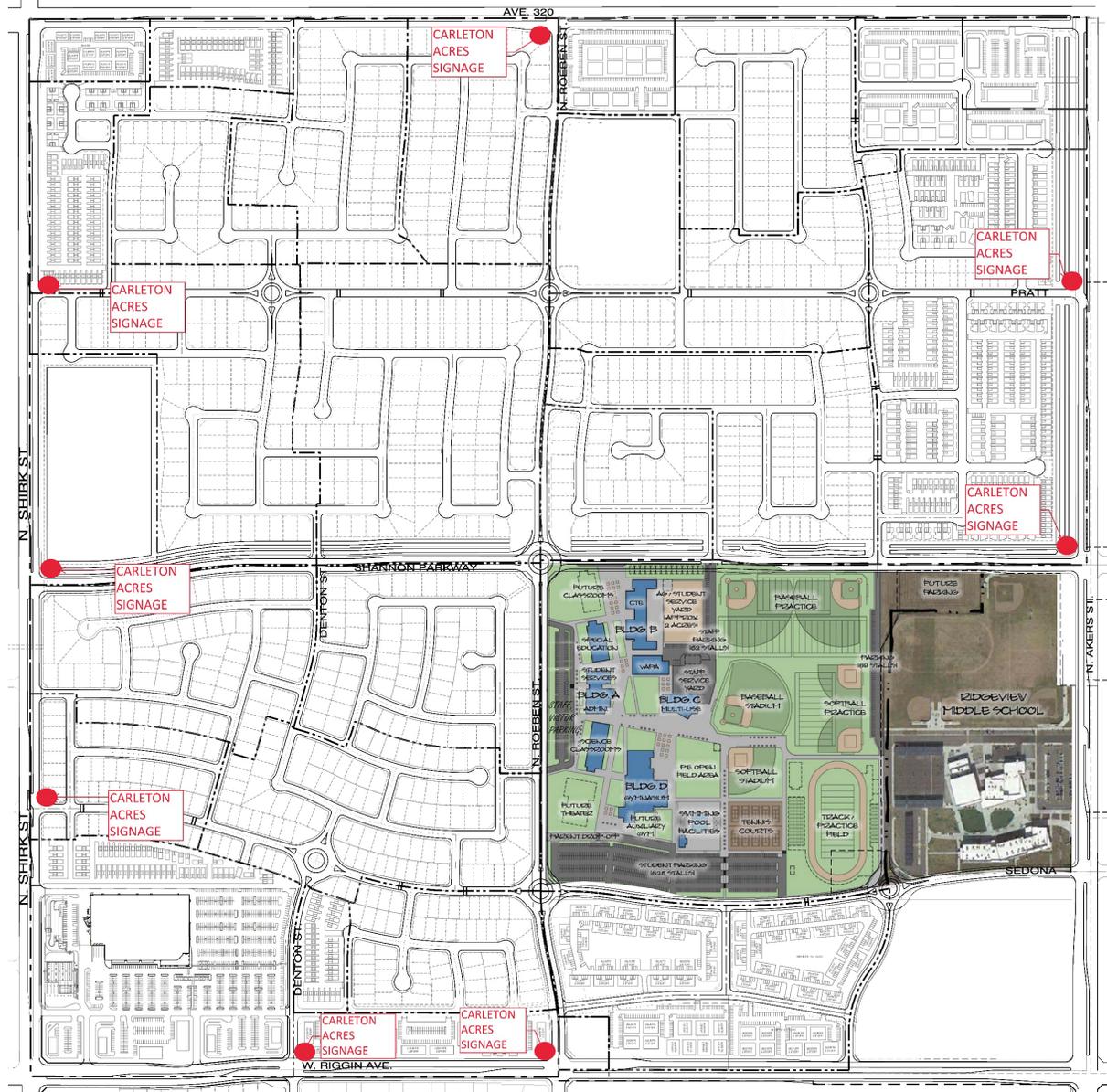


Figure 6.H
Monumental/Theme Signage Conceptual Designs



6.9.6 Master Sign Program:

Within the City municipal code, a Master Sign Program may be submitted for the design and placement of signs within a project to achieve an overall design and unified appearance. Master Sign Programs may also be used for subdivision projects with a phased development. Minor variations in dimensional standards and other limitations may be approved, to achieve a more superior result. The Sign Program must show:

- Safety of the public is improved by minimizing distractions from sign design and placement.
- The sign design and placement is appropriate for the area.
- The sign design and placement is cohesive with the architecture and landscape.
- The sign design, scale and placement is orientated to pedestrian traffic.

Approval of a Master Sign Program is required by the Planning Commission for residential and commercial projects within Carleton Acres.

The Master Sign Program should include the following:

- Site plan showing the location of signs and/or buildings, parking lots, driveways and landscaped areas.
- A calculation of the maximum total sign area, maximum area for individual signs, height of signs and number of freestanding sign allowed, if proposed.
- Color schemes, lettering and graphic style.
- Lighting and sign construction materials.
- Sign dimensions.
- A written program of standards for all sign types to be distributed to future tenants, including color, size,

illumination, construction detail and sign placement for commercial uses.

Master Sign Programs should demonstrate:

- Signage is in harmony
 - Common design elements including materials, letter style, colors, illumination, type or shape.
 - The signage identifies with the building.
 - Surrounding land uses and safety is taken into consideration.
- The proposed signs comply with the City of Visalia's Standards except the following:
 - Number of signs allowed.
 - Location and height of signs.

6.9.7 Commercial Signs

Refer to the City of Visalia's Sign Ordinance for commercial signs. The Specific Plan does not serve as a Commercial Master Sign Program. Any future Master Sign Programs should be submitted separately. See Figure 6.I for possible signage locations. Figure 6.J are conceptual signage designs.

Figure 6.1
Commercial Signage Conceptual Locations



Figure 6.J
Commercial Signage Conceptual Designs



6.10 EXTERIOR LIGHTING STANDARDS

6.10.1 Introduction

All exterior lighting within Carleton Acres should adhere to the guidelines specified in the separate Exterior Lighting Plan, applicable to both private and public open spaces. The lighting design will prioritize safety and continuity, ensuring it aligns with the overall theme and ambiance of the community.

6.10.2 Lighting Quality

- Architectural lighting should serve to enhance building designs while also providing adequate illumination for pedestrian safety.
- Illuminate the entrance of buildings and parking areas.
- Private development lighting should complement and not conflict with public lighting.
- Special accent lighting may be used on architectural details and signage throughout Carleton Acres.
- Landscape lighting may be used to compliment the open space areas.

6.10.3 Lighting Spillover

- All lighting should be designed and installed so as to prevent any significant direct or indirect light or glare from falling upon any adjacent residential property.
- Parking lot and drive aisle lighting adjacent to residential units or designated properties should consider the use of maximum 15-foot high light poles, with the light element to be completely recessed into the can. A reduction in the height of the light pole will assist in the reduction/elimination

of direct and indirect light and glare which may adversely impact adjacent residential areas.

- Building and security lights should be shielded so that the light element is not visible from the adjacent residential properties.
- Service area lighting should be contained within its boundary and enclosure walls with minimal spillover.
- More than 0.5 lumens should not be exceeded at any property line.

6.10.4 Lighting Type

- Lighting should have a warm appearance and broadcast light over large areas.
- Lighting shall meet all City requirements.

6.10.5 Residential Street Lights

- Details and specifications should be submitted by each neighborhood Builder/Developer to the Architectural Design Committee for approval prior to the start of construction.
- Light locations should respect street trees and underground utilities as well as glare into resident's windows and natural areas.
- The utility coordination plan should show all transformers, traffic signal devices, water meters, utility vaults, gas meters, major drainage structure and street lights.

6.10.6 Secondary Lighting

Low-level landscape lighting is strongly encouraged for all open spaces, pocket parks, entries, and paseos within Carleton Acres to enhance the ambiance. In addition, secondary lighting is necessary to ensure public safety in the neighborhoods. All proposed lighting

fixtures must undergo a review process by the Architectural Design Committee to ensure they align with the overall design vision of the community.

6.11 LANDSCAPING AND LIGHTING ACT DISTRICT

A Landscaping and Lighting Act Assessment District shall be formed, prior to the recordation of a final map. This district will serve the purpose of funding the maintenance of landscaping, fences, and/or walls along the public street frontages and open space areas within the subdivision. Additionally, the district will cover the operational and maintenance costs of street lights within the subdivision and along streets adjacent to the subdivision.

The following areas should be included in the Landscaping and Lighting Act District:

- Park areas surrounding the round-abouts
- Round-abouts
- Pocket parks
- Trail along Modoc Greenway
- Trails along streets
- Bioswales along Modoc
- Trail around basin
- Landscaping adjacent to residential at arterial and collector streets.

The Landscape and Lighting Act District shall include the provisions for the City to collect payment from the subdivider to cover the estimated cost to operate and maintain the improvements of the District prior to assessments occurring on the property tax roll.

Figure 6.K
Tree Selection Preference

Tree Selection

| Common Name | Botanical Name | Water Use | Deciduous | Tree Size | Spacing | Tree Well | Median | Street | Park | Entries | Trails | Mixed-Use |
|-------------------------|-----------------------------------|-----------|-----------|-----------|---------|-----------|--------|--------|------|---------|--------|-----------|
| Crape Myrtle (White) | Lagerstroemia indica 'Natchez' | L | D | Small | 20'-30' | 3'x3' | ● | ● | ● | ● | | ● |
| Crape Myrtle (Red) | Lagerstroemia indica 'Dynamite' | L | D | Small | 20'-30' | 3'x3' | ● | ● | ● | ● | | |
| Crape Myrtle (Lavender) | Lagerstroemia indica 'Muskogee' | L | D | Small | 20'-30' | 3'x3' | ● | ● | ● | ● | | ● |
| Bay Laurel | Laurus nobilis | M | E | Medium | 15'x40' | 3'x3' | | | | ● | | ● |
| Saratoga Bay | Laurus nobilis 'Saratoga' | M | E | Medium | 25'-30' | 3'x3' | ● | ● | ● | ● | | ● |
| Fruitless Olive | Olea europaea 'swan hill' | VL | E | Medium | 25'x30' | 3'x3' | | | ● | ● | | ● |
| Chinese Pistache | Pistacia chinensis 'Keith Davies' | L | D | Medium | 25'-30' | 4.5'x4.5' | ● | ● | ● | | | ● |
| Valley Oak | Quercus lobata | L | D | Large | 35'-40' | 5'x5' | | ● | ● | ● | ● | |
| Cork Oak | Quercus suber | L | E | Large | 35'-40' | 5'x5' | | ● | ● | ● | ● | |
| Southern Live Oak | Quercus virginiana | M | E | Large | 35'-40' | 5'x5' | | ● | ● | | | |
| Interior Live Oak | Quercus wislizeni | VL | E | Large | 35'-40' | 5'x5' | | ● | ● | ● | ● | |
| Brisbane Box | Tristanopsis laurina | M | E | Medium | 20'-25' | 3'x3' | | | ● | | | |
| Saw Leaf Zelkova | Zelkova serrata | M | D | Large | 35'-40' | 6'x6' | | | ● | ● | | |
| Green Vase Zelkova | Zelkova serrata 'Green Vase' | M | D | Large | 35'-40' | 6'x6' | ● | ● | ● | ● | | ● |
| Musashino Zelkova | Zelkova serrata 'Musashino' | M | D | Large | 35'-40' | 6'x6' | ● | ● | ● | ● | | ● |
| Village Green Zelkova | Zelkova serrata 'Village Green' | M | D | Large | 35'-40' | 6'x6' | ● | ● | ● | ● | | ● |
| Eastern Redbud | Cercis canadensis | M | D | Small | 20'-30' | 3'x3' | | ● | ● | | | |
| Mexicana Redbud | Cercis mexicana | L | D | Small | 20'-30' | 3'x3' | | ● | ● | | ● | |
| Elizabeth Magnolia | Magnolia 'Elizabeth' | M | D | Small | 15'-20' | 3'x3' | | ● | ● | | | |
| Frontier Elm | Ulmus carpinifolia x U parvifolia | M | D | Large | 35'-40' | 5'x5' | | ● | ● | | | |
| Chinese Elm 'Alle' | Ulmus parvifolia | M | D | Large | 35'-40' | 5'x5' | | ● | ● | ● | | ● |
| Japanese Privet | Ligustrum japonicum | L | E | Small | 10'-12' | 3'x3' | | | ● | ● | | ● |
| Western Sycamore | Plantanus racemosa | L | E | Large | 60'-80' | 6'x6' | | | | | ● | |



Crape Myrtle (White)



Crape Myrtle (Red)



Crape Myrtle (Lavender)



Bay Laurel



Saratoga Bay



Fruitless Olive



Chinese Pistache



Valley Oak



Cork Oak



Village Green Zelkova



Eastern Redbud



Mexicana Redbud



Elizabeth Magnolia



Southern Live Oak



Interior Live Oak



Brisbane Box



Frontier Elm



Chinese Elm 'Alle'



Japanese Privet



Western Sycamore



Saw Leaf Zelkova



Green Vase Zelkova



Musashino Zelkova

**Figure 6.L
Plant Selection Preference**

Plant Selection

| Common Name | Botanical Name | Water Use | Median | Street | Park | Entries | Trails | Mixed-Use |
|-----------------------------|--------------------------------------|-----------|--------|--------|------|---------|--------|-----------|
| Carpet Rose | Rosa | M | ● | ● | ● | ● | | ● |
| English Lavender | Lavandula angustifolia | L | ● | ● | ● | ● | | ● |
| Germander | Teucrium chamaedrys nanum | L | ● | ● | ● | | | ● |
| Goodwin Creek Grey Lavender | Lavandula x gingsii | L | ● | ● | ● | ● | ● | ● |
| Lantana Camara (white) | Camara vulgaris (white) | L | ● | ● | ● | ● | | ● |
| Lemon Thyme | Thymus 'silver queen' | L | | ● | ● | ● | | ● |
| Rosemary | Rosmarinus officinalis 'Tuscan Blue' | L | ● | ● | ● | ● | ● | ● |
| Russian Sage | Perovskia atriplicifolia | L | | | ● | ● | ● | ● |
| Spanish Lavender | Lavandula stoechas | L | | | ● | ● | | ● |
| Trailing Lantana | Lantana montevidensis | L | ● | ● | ● | ● | ● | ● |
| Trailing Rosemary | Rosmarinus prostratus | L | ● | ● | ● | ● | ● | ● |
| Foxtail Agava | Agave attenuata | L | | | ● | ● | | ● |
| Blue Flame Agava | Agave attenuata x Agave shawii | L | | | ● | ● | | ● |



Carpet Rose



English Lavender



Germander



Goodwin Creek Grey Lavender



Lantana Camara



Lemon Thyme



Rosemary



Russian Sage



Spanish Lavender



Trailing Lantana



Trailing Rosemary



Foxtail Agava



Blue Flame Agava

Figure 6.M
Shrub Selection Preference

Shrub Selection

| Common Name | Botanical Name | Water Use | Median | Street | Park | Entries | Trails | Mixed-Use |
|--------------------------|-----------------------------------|-----------|--------|--------|------|---------|--------|-----------|
| Bay Laurel | Laurus nobilis | M | ● | | ● | ● | | ● |
| Common Mazanita | Arctostaphylos manzanita | L | | | | | ● | |
| Crimson Pygmy Barberry | Berberis thunbergii autropurpurea | L | | | ● | | ● | |
| Dwarf Coyote Brush | Baccharis Pegeon Point | L | ● | ● | ● | ● | ● | ● |
| Dwarf Pittosporum | Pittosporum Tobira wheelers dwarf | L | ● | ● | ● | ● | ● | ● |
| Evergreen Euonymus | Euonymus japonicus | L | | ● | ● | ● | | ● |
| Floribunda Rose | Rosa floribunda 'Iceberg' | M | ● | ● | ● | ● | | ● |
| White Yarro | Achillea millefolium | L | ● | | ● | ● | ● | ● |
| Japanese Boxwood | Busus m. japonica | M | | | | ● | | ● |
| Laurustinus | Viburnum Tinus | L | ● | ● | ● | | ● | |
| Little Ollie Dwarf Olive | Olea europaea montra | L | ● | ● | ● | ● | | ● |
| White Sage | Salvia apiana | L | | | ● | | ● | |
| Yeddo Hawthorne | Rhaphiolepis umbellata | M | ● | ● | ● | ● | | |
| Mexican Sage Bush | Salvia leucantha | L | | | ● | ● | ● | ● |



**Figure 6.N
Grass, Groundcover and Vine Selection Preference**

Grasses Selection

| Common Name | Botanical Name | Water Use | Median | Street | Park | Entries | Trails | Mixed-Use |
|---------------------|-------------------------------|-----------|--------|--------|------|---------|--------|-----------|
| Blue Oat Grass | Helictorichon sempervirens | L | ● | ● | ● | ● | ● | ● |
| Blue Fescue | Festuca glauca | L | ● | ● | ● | ● | ● | ● |
| Deer Grass | Muhlenbergia ringens | L | ● | ● | ● | ● | ● | ● |
| Bull Grass | Muhlenbergia dubia | L | ● | ● | ● | ● | ● | ● |
| Slender Veld Grass | Pennisetum spathiolatum | L | | | | | ● | |
| Giant Feather Grass | Stipa gigantea | L | | | | | ● | |
| White Muhly Grass | Muhlenbergia capillaris cloud | L | | | ● | ● | ● | ● |
| Creeping Wild Rye | Leymus Triticoides | L | | | | | ● | |
| Atlas Fescue | Festuca Mairei | L | ● | ● | ● | ● | ● | ● |



Groundcover Selection

| Common Name | Botanical Name | Water Use | Median | Street | Park | Entries | Trails | Mixed-Use |
|-------------------|-------------------------------|-----------|--------|--------|------|---------|--------|-----------|
| Creeping Myoporum | Myoporum parvifolium | L | ● | ● | ● | ● | ● | ● |
| Groundcover Rosa | Rosa icy white drift series | M | ● | ● | ● | ● | ● | ● |
| Prostrate Acacia | Acacia redolens desert carpet | L | | | | | ● | |

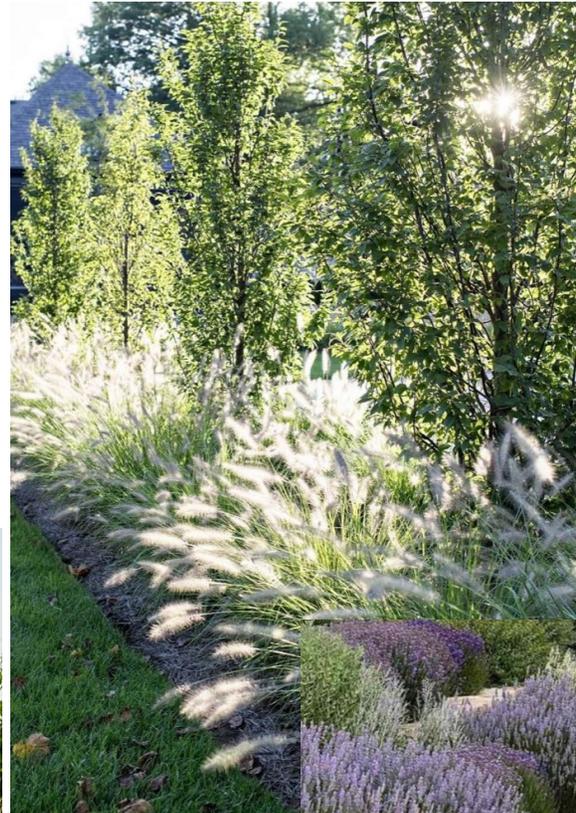


Vine Selection

| Common Name | Botanical Name | Water Use | Median | Street | Park | Entries | Trails | Mixed-Use |
|--------------|-----------------------------|-----------|--------|--------|------|---------|--------|-----------|
| Creeping Fig | Ficus pumila | L | ● | ● | ● | ● | ● | ● |
| Star Jasmine | Trachelospermum jasminoides | M | ● | ● | ● | ● | ● | ● |

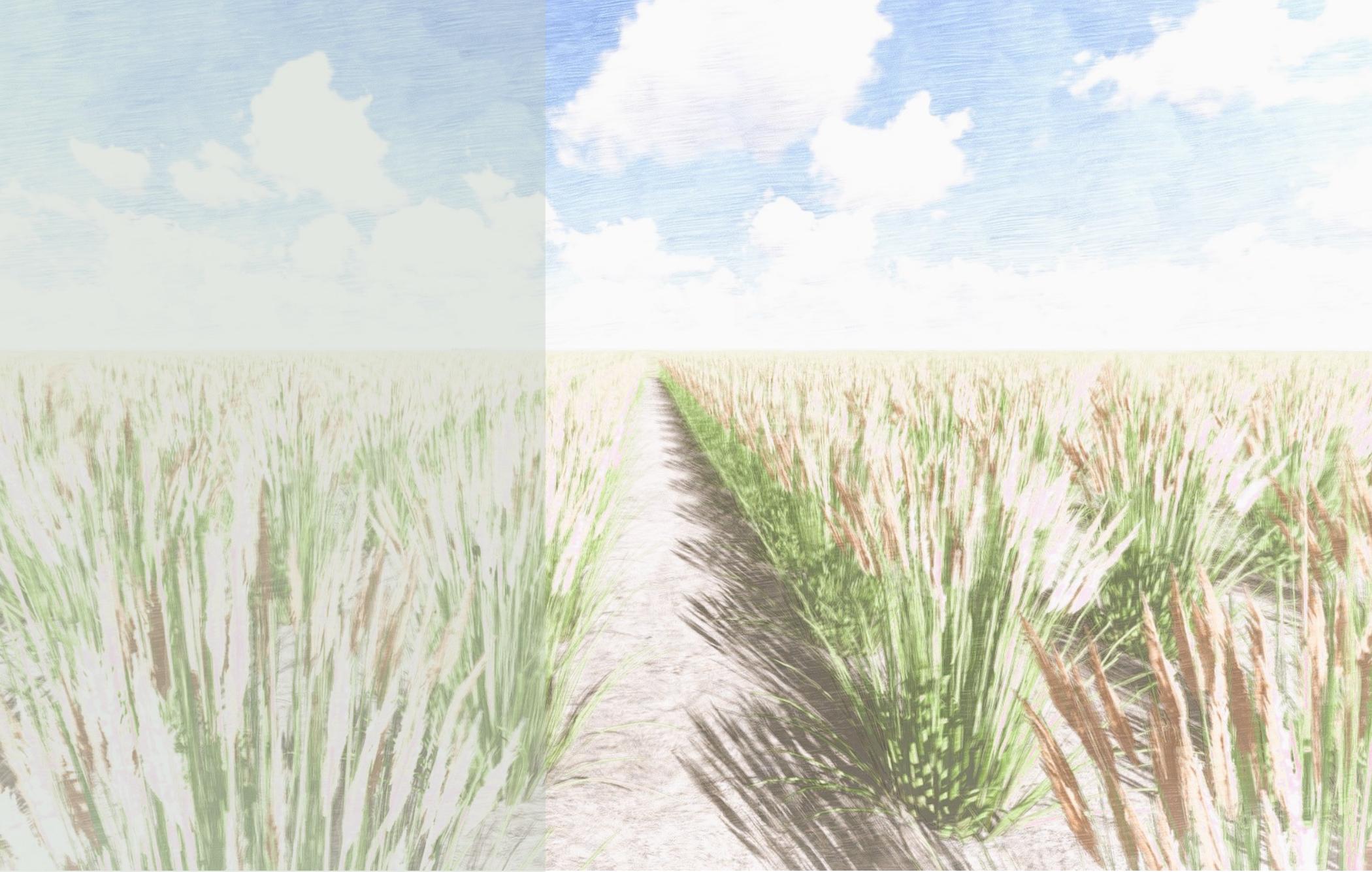


Figure 6.O
Landscape Images



Infrastructure

7.0



7.0 Infrastructure

7.1 INTRODUCTION

The infrastructure section discusses the existing conditions and anticipated improvements to circulation and utility systems within the Carleton Acres Specific Plan. Each Builder/Developer shall be responsible for the infrastructure adjacent to their proposed development project. The single family residential has been phased (see Figure 2.C.) with consideration for fire access as development progresses.

7.2 CIRCULATION MASTER PLAN

7.2.1 Objectives

The Circulation Master Plan for Carleton Acres aims to promote a well-designed community with various transportation options. By integrating an interconnected network of streets, trails, and bike paths, the plan encourages safe and efficient movement for all transportation users, including motorists, transit users, bicyclists, and pedestrians. Emphasizing traditional neighborhood design principles, the plan aims to reduce vehicle speeds and minimize conflicts between different transportation modes.

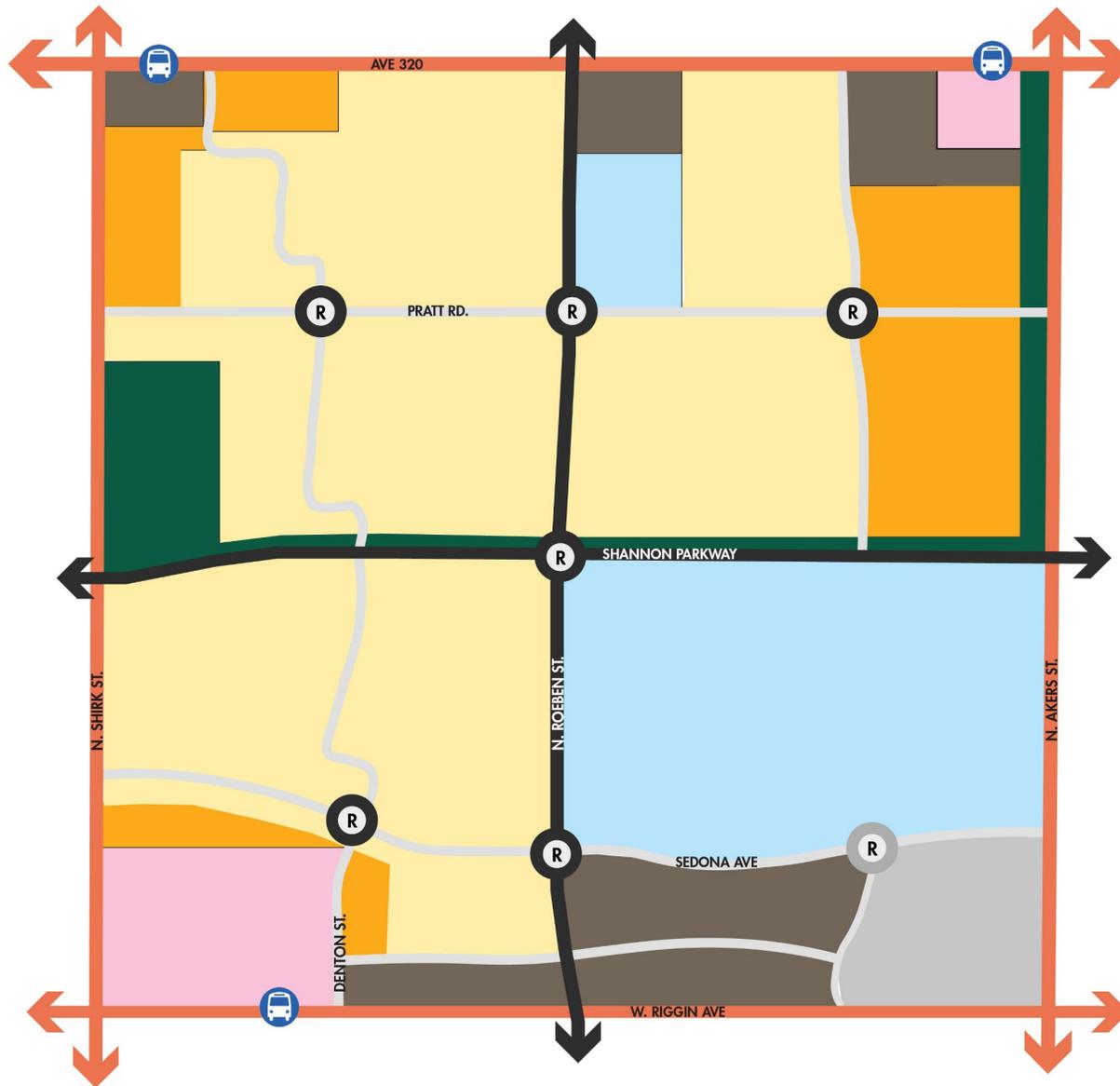
Pursuant to the City of Visalia’s General Plan, the circulation network proposed in the Specific Plan will adhere to the objectives and policies outlined in the City’s Circulation Element. In addition to the Circulation Element, roadway and pathway design standards and dimensions shall comply with standards established by the following:

- City of Visalia Engineering Design and Improvement Standards (2016)
- City of Visalia Active Transportation Plan (2017)
- City of Visalia Waterway and Trails Master Plan (2010)

7.2.2 Vehicular Circulation

Carleton Acres is bounded by four of the City’s public arterial streets. Within the Plan Area, local and collector streets of varying design will enable access and traffic distribution throughout the community. Figure 7.A depicts the hierarchy and location of roadways within Carleton Acres.

Figure 7.A
Vehicular
Circulation



**VEHICULAR
CIRCULATION**

LEGEND

-  Arterial
 -  Collector
 -  Local
 -  Proposed Roundabout
 -  Existing Roundabout
 -  Proposed Bus Stop
- Note: Bus Stops are not in exact locations and are not limited to the sites shown here.



Arterials

West Riggin Avenue, North Shirk Street (Rd. 92), North Akers Street (Rd 100), and Avenue 320 (Kibler Ave.) are classified as arterial roads in the City's Circulation Element with a right of way of 110 feet. Arterials are high-capacity roads that deliver traffic from collector roads to and from freeways or expressways. The arterials may include right-turn and left-turn movements where applicable. Arterial streets are funded by Transportation Impact Fees (TIFs) and the development shall be reimbursed for all street improvements on Riggin, Shirk, Akers, and Ave. 320.

Figure 7.B and 7.C show the cross section and plan view West Riggin Avenue is at the widest point of the median. The raised median will serve as a traffic calming measure and create a distinct separation between travel lanes in both directions. The widening of Riggin includes median and two west bound lanes. The existing travel lanes will be converted to two east bound lanes.

Figure 7.D, 7.E, 7.F and 7.G show the cross section and plan view for North Shirk Street and Avenue 320. Developer to provide 2/3 improvements.

Figure 7.H and 7.I show the cross section and plan view for North Akers Street. The existing Modoc ditch runs along the west side of the street with proposed bioswales and bike trail. Developer to provide 2/3 improvements.

The City of Visalia is undergoing an engineering standard update and transportation impact fee nexus update as of the approval of this Specific Plan. Modifications to lane widths and bike lane configurations may occur at point of development.

Figure 7.B
W. Riggan Ave. Cross Section

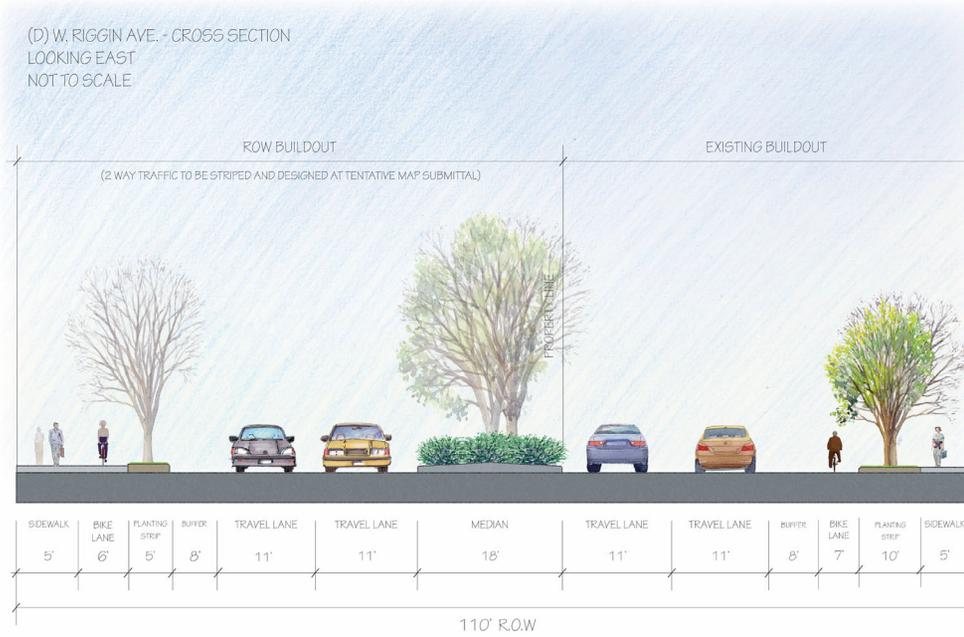


Figure 7.C
W. Riggan Ave. Plan View

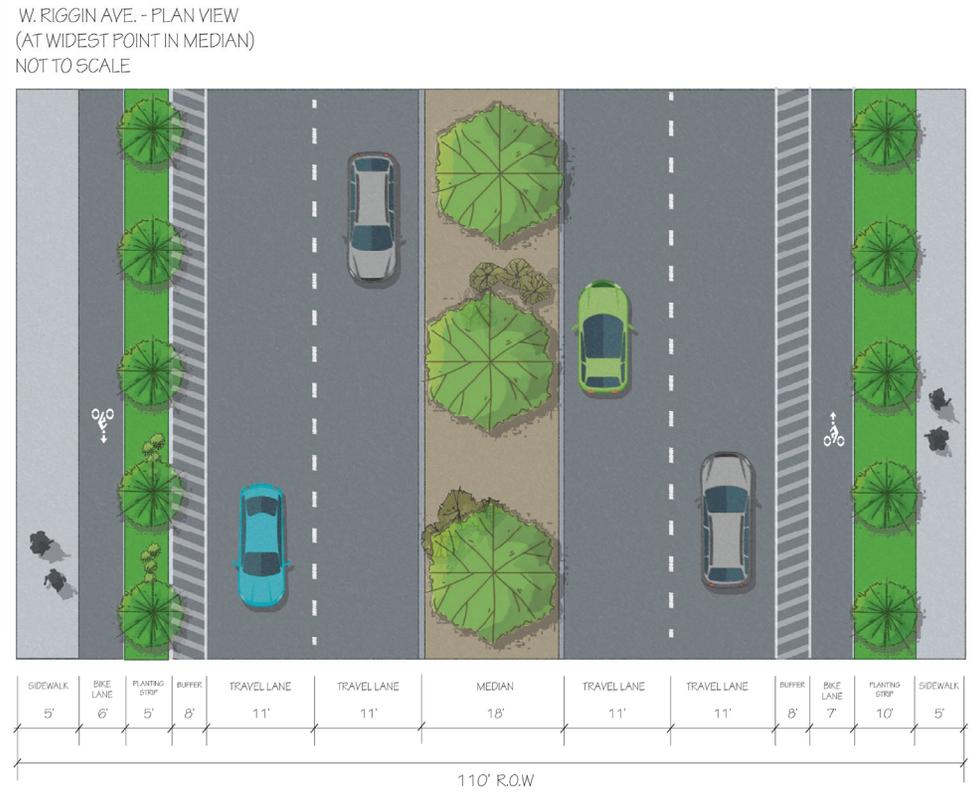


Figure 7.D
N. Shirk St. Cross Section

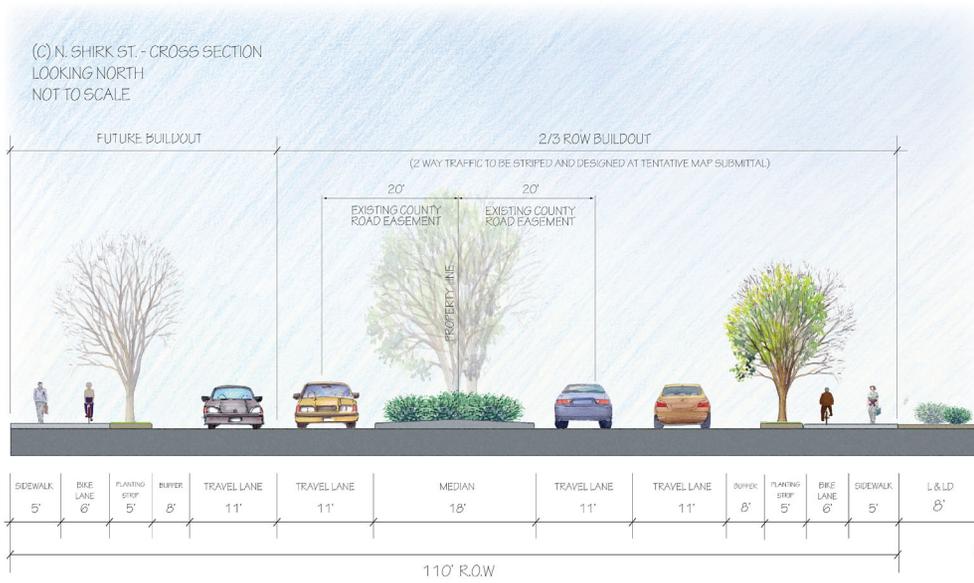


Figure 7.E
N. Shirk St. Plan View



Figure 7.F
Ave. 320 Cross Section

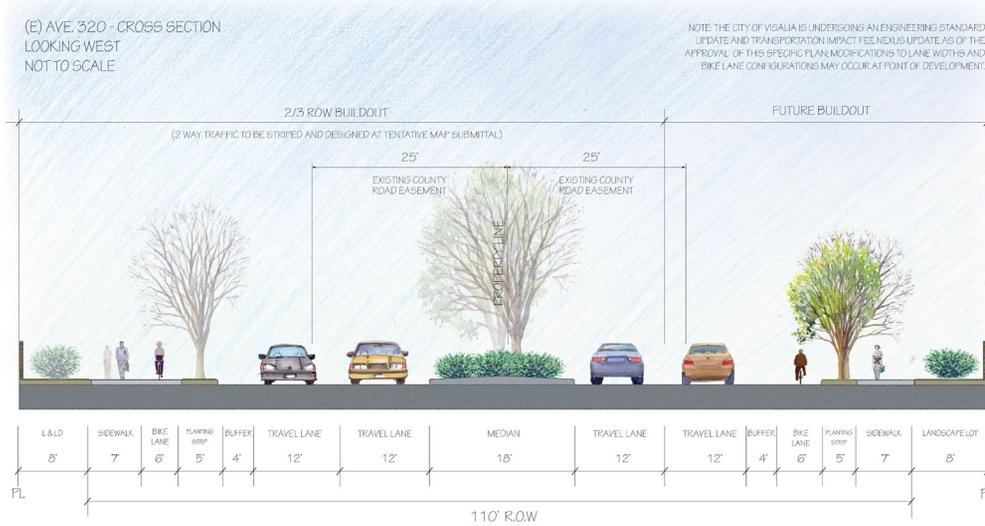


Figure 7.G
Ave. 320 Plan View

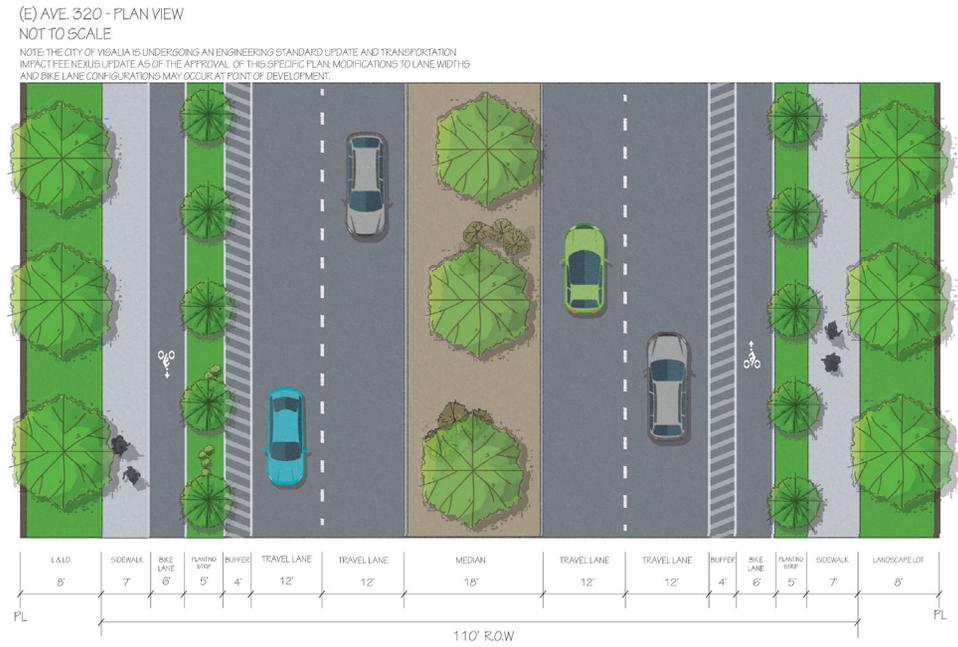


Figure 7.H
N. Akers St. Cross Section

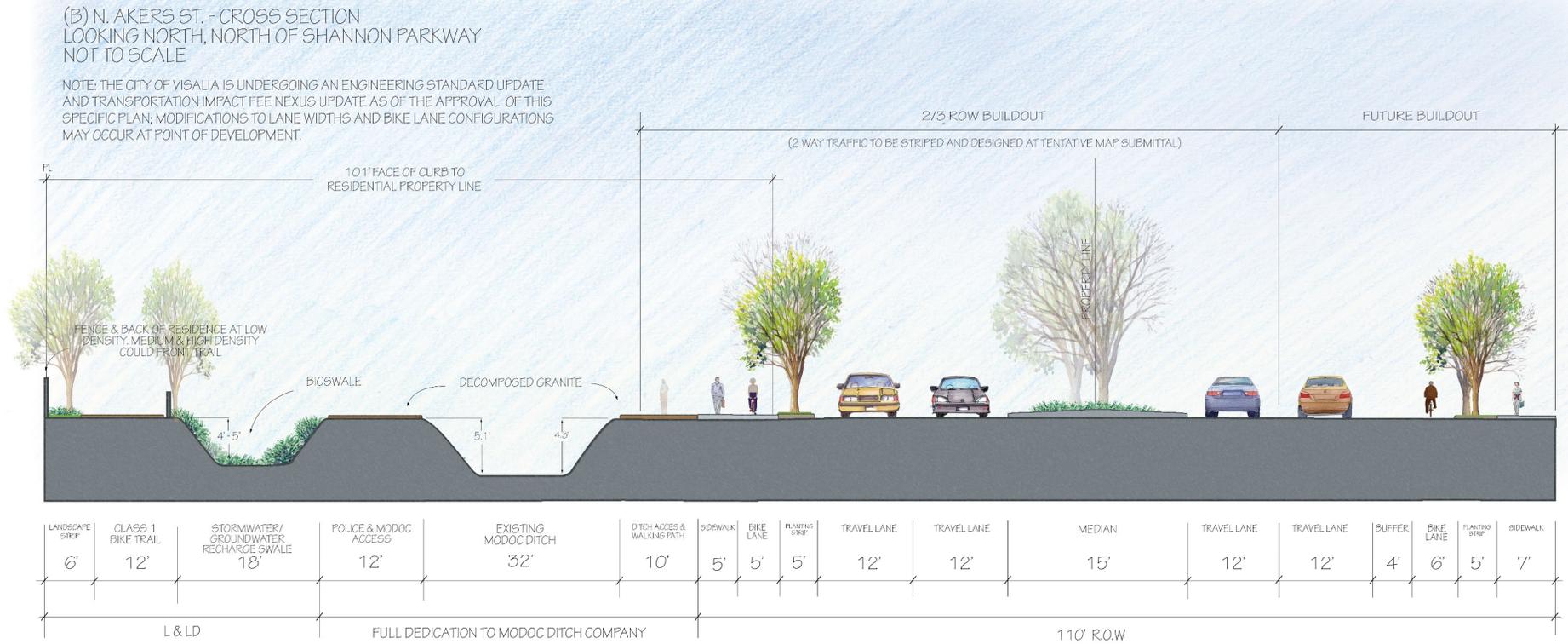
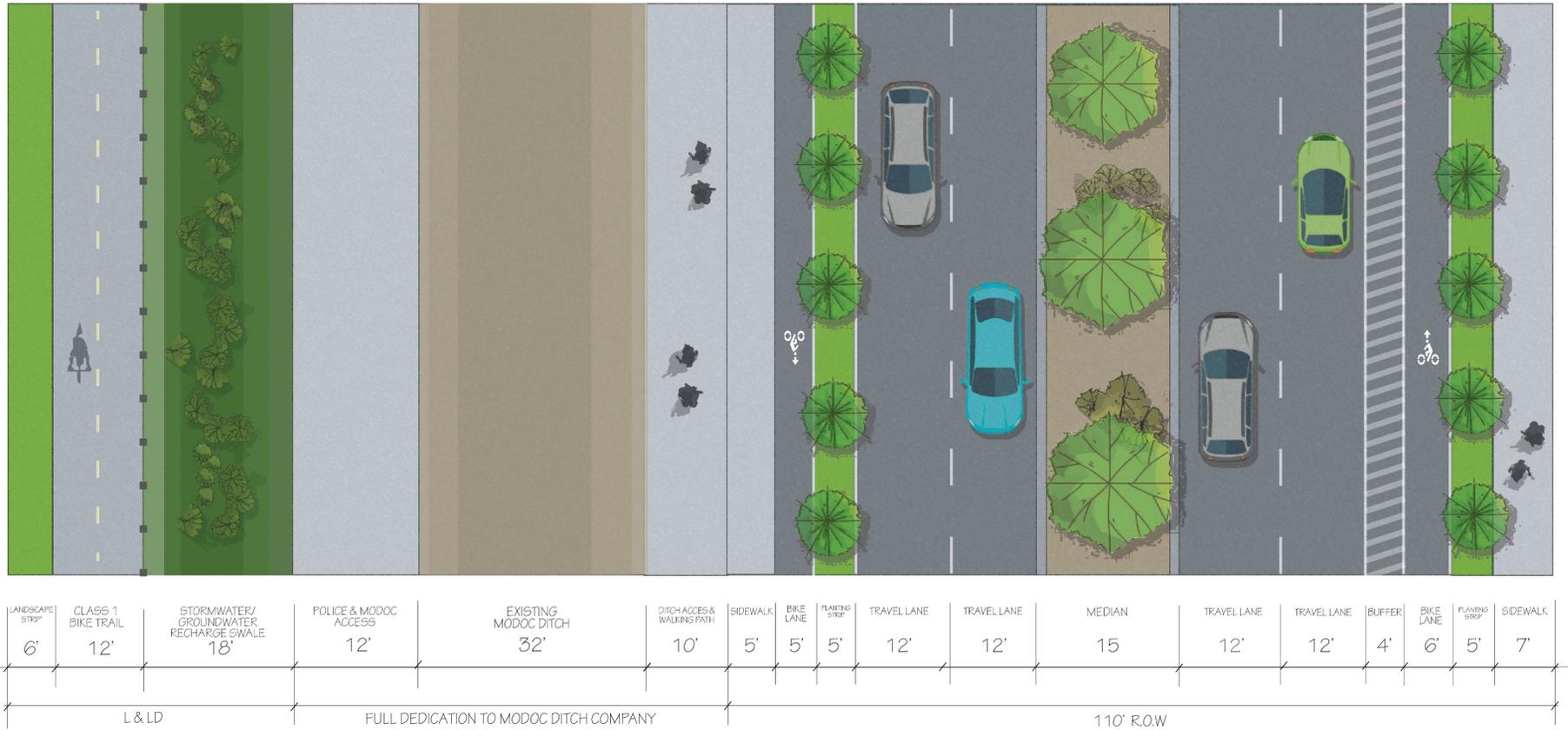


Figure 7.1
N. Akers St. Plan View

(B) N. AKERS ST. - PLAN VIEW
NOT TO SCALE

NOTE: THE CITY OF VISALIA IS UNDERGOING AN ENGINEERING STANDARD UPDATE AND TRANSPORTATION IMPACT FEE NEXUS UPDATE AS OF THE APPROVAL OF THIS SPECIFIC PLAN; MODIFICATIONS TO LANE WIDTHS AND BIKE LANE CONFIGURATIONS MAY OCCUR AT POINT OF DEVELOPMENT.



Collectors

Shannon Parkway and North Roeben Street are designated as collectors and serve to connect arterial and local roadways within the Plan Area. Shannon Parkway and Roeben Street will feature two lanes of traffic within an 84 feet right of way. Shannon Parkway will include a median with trees or landscaping to help enhance overall street aesthetic and complement the greenery of Modoc Ditch, which runs along the north edge of the road.

Three roundabouts are proposed along North Roeben Street. Roundabouts have been proven to improve traffic flow and efficiency while regulating vehicle speeds without requiring drivers to come to a complete stop. The addition of the roundabouts along North Roeben Street will reinforce slower speeds near sensitive land uses, including residential homes and educational facilities. Roundabouts have been requested by the City's Traffic Department as a way to slow traffic at intersections. Collector streets are TIF funded and the development shall be reimbursed for all street improvements including roundabouts.

Figure 7.J and 7.K show the cross section and plan view for North Roeben Street at the proposed high school. The developer is to provide 2/3 improvements with the remainder to be completed by the school district. At the proposed high school, a raised bike trail shall be provided on the west side of the street. A protected bike lane with buffer and parking adjacent to travel lane is proposed adjacent to the proposed high school. Bike lane transitions would occur at intersections or roundabouts and should be further designed in improvement drawings.

Figure 7.L and 7.M is the cross section and plan view for North Roeben Street south of Ave. 320. A bike lane with buffer is proposed along the travel lanes.

Figure 7.N and 7.O show the cross section and plan view for Shannon Parkway. The developer is to provide 2/3 improvements in Phase 1. Phase 2 will complete the remainder of the street improvements including the proposed bioswales and bike trail along the north side of the street. 2/3 improvements in Phase 1 allow farming to continue until development is ready in Phase 2.

Figure 7.J
N. Roeben St. Cross Section at Proposed High School

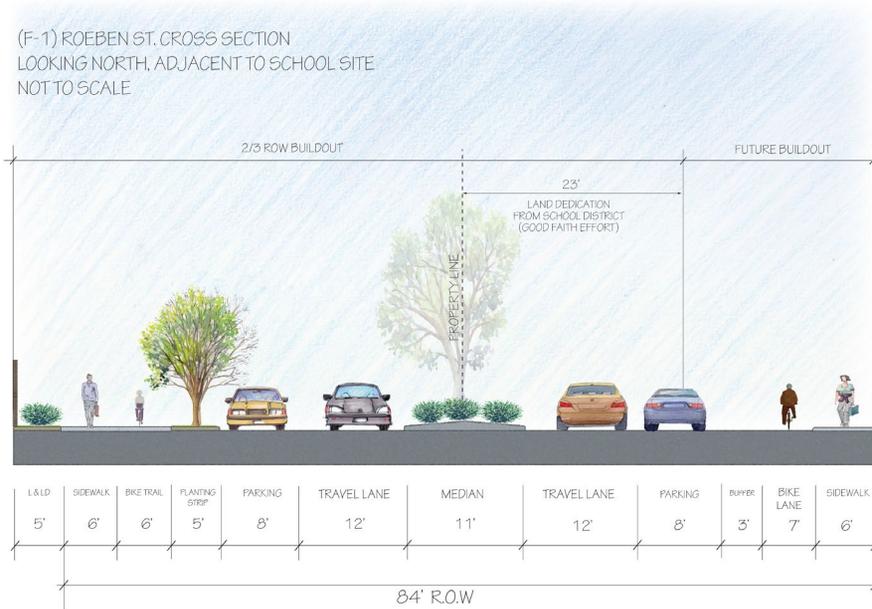


Figure 7.K N. Roeben St.
Plan View at Proposed High School

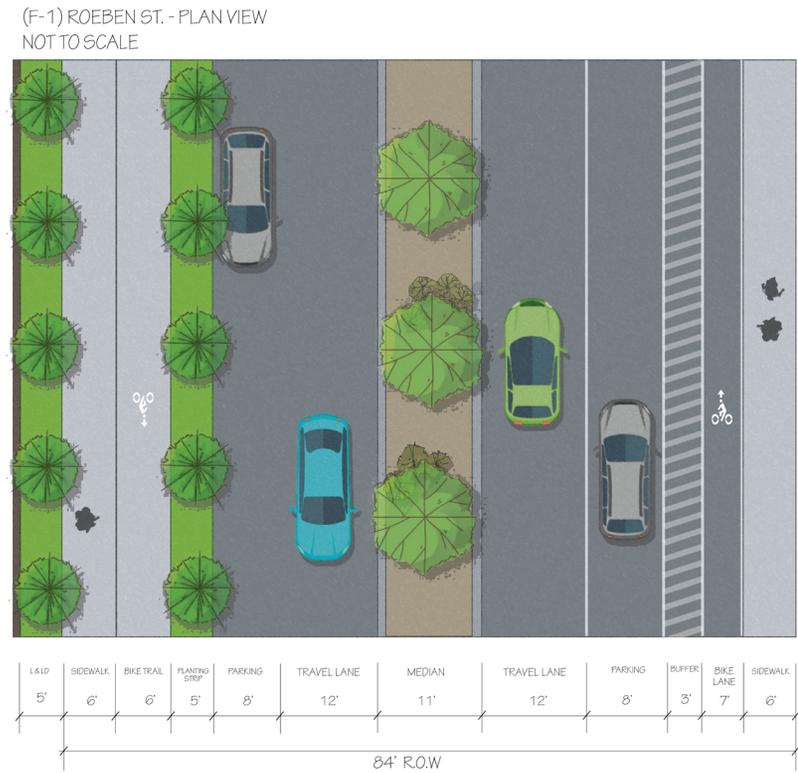


Figure 7.L
N. Roeben St. Cross Section



Figure 7.M
N. Roeben St. Plan View

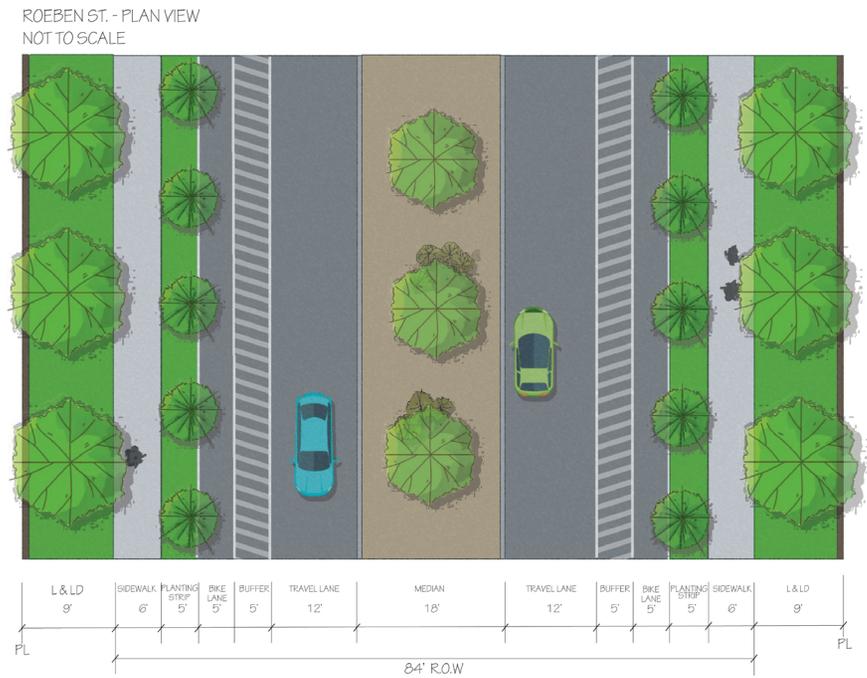


Figure 7.N
Shannon Parkway Cross Section at Phase 1 Residential

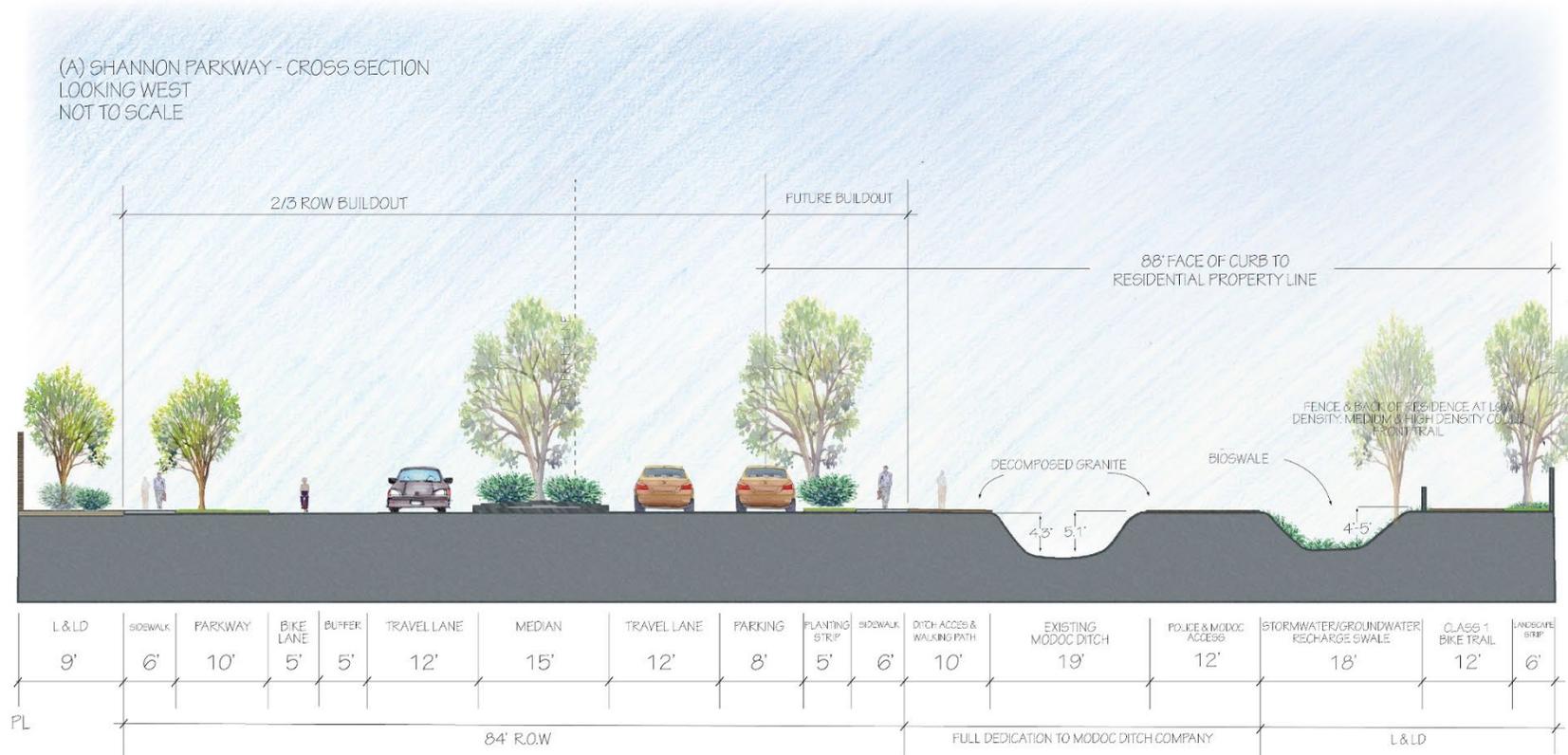


Figure 7.0
Shannon Parkway Plan View at Phase 1 Residential

(A) SHANNON PARKWAY - PLAN VIEW
 NOT TO SCALE



| L & LD | SIDEWALK | PARKWAY | BIKE LANE | BUFFER | TRAVEL LANE | MEDIAN | TRAVEL LANE | PARKING | PLANTING STRIP | SIDEWALK | DITCH ACCESS & WALKING PATH | EXISTING MODOC DITCH | POLICE & MODOC ACCESS | STORMWATER/GROUNDWATER RECHARGE SWALE | CLASS 1 BIKE TRAIL | LANDSCAPE STRIP |
|-----------|----------|---------|-----------|--------|-------------|--------|-------------|---------|----------------|----------|--|----------------------|-----------------------|---------------------------------------|--------------------|-----------------|
| 9' | 6' | 10' | 5' | 5' | 12' | 15' | 12' | 8' | 5' | 6' | 10' | 19' | 12' | 18' | 12' | 6' |
| 84' R.O.W | | | | | | | | | | | FULL DEDICATION TO MODOC DITCH COMPANY | | | L & LD | | |



Local Streets

The remaining streets within the Plan Area, including Sedona Avenue, are classified as local and should be developed to residential street standards. Local streets are designed to distribute vehicular traffic from arterial and collector streets and provide direct access to individual parcels. Local streets within the Plan Area should have a right of way width of 60 feet. A roundabout should be located at Sedona Avenue & Denton as well as two more along Pratt Road to enhance traffic flow. See Figures 7.T and U for Conceptual Roundabout Designs. Traffic speed tables should be installed along Sedona Avenue, Pratt Road, and the north/south street that connects Shannon Parkway to Ave. 320. The purpose of the speed tables are to slow traffic for a safer environment.

Figure 7.P and 7.Q show the cross section and plan view for Sedona Avenue, a typical local street with full buildout when single family residential is on both sides of the street.

Figure 7.R and 7.S show the cross section and plan view for a local street with bike and pedestrian trail which are located throughout Carleton Acres.

Figure 7.P
Sedona Ave. Cross Section

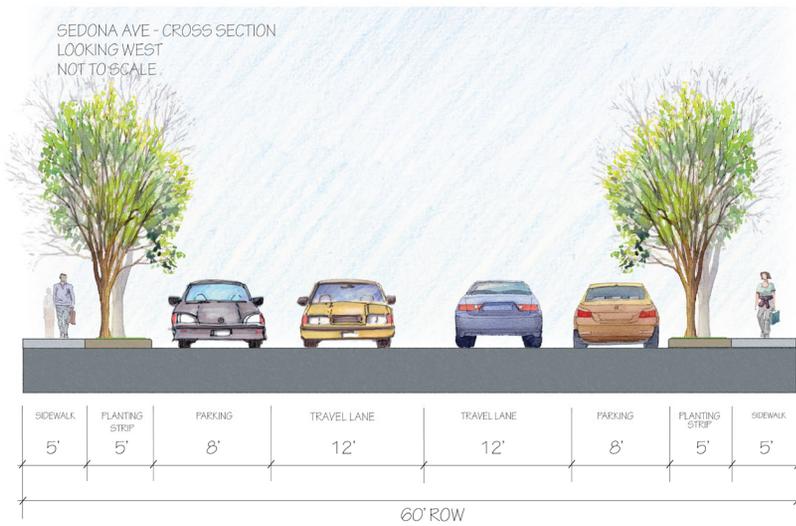


Figure 7.Q
Sedona Ave. Plan View

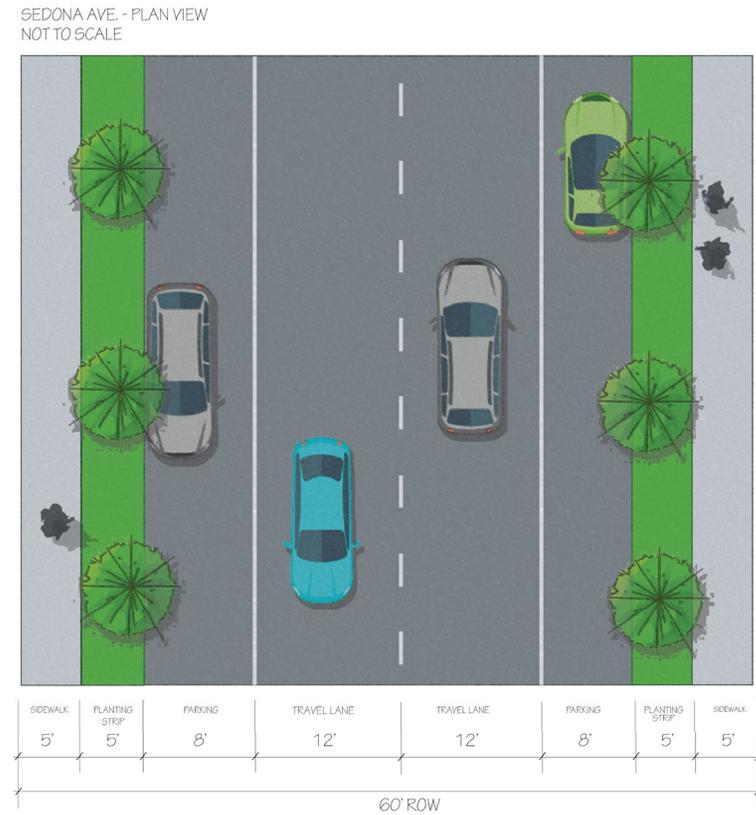


Figure 7.R
Local Street with Trail Cross Section



Figure 7.S
Local Street with Trail Plan View

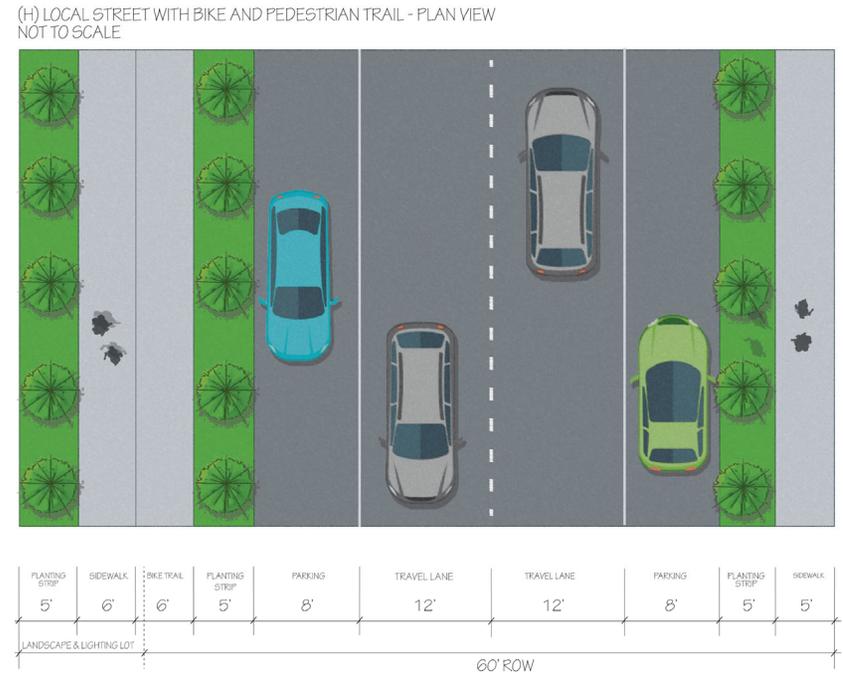


Figure 7.T
Conceptual Roundabout Plan Views

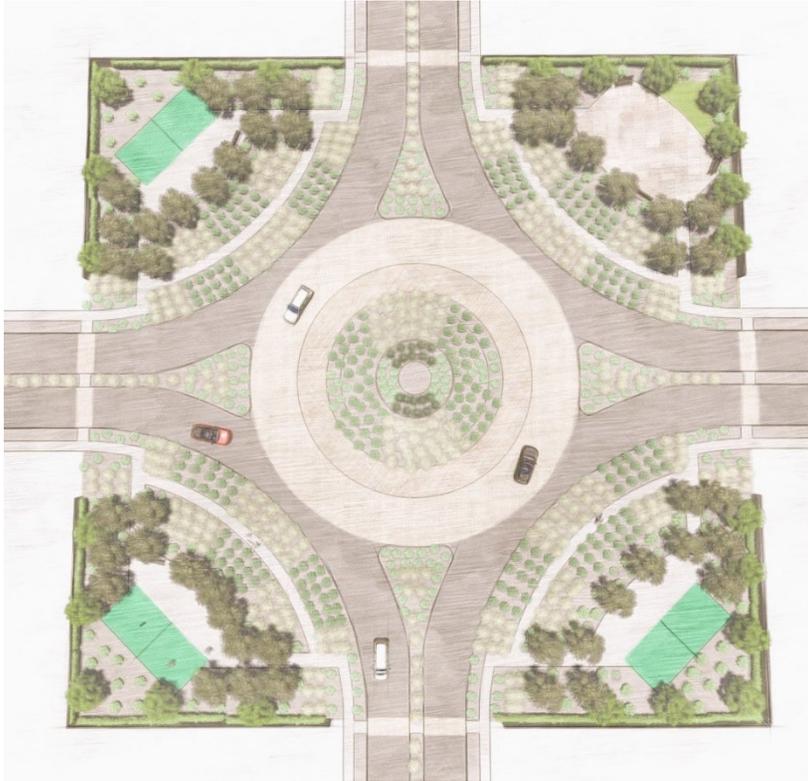
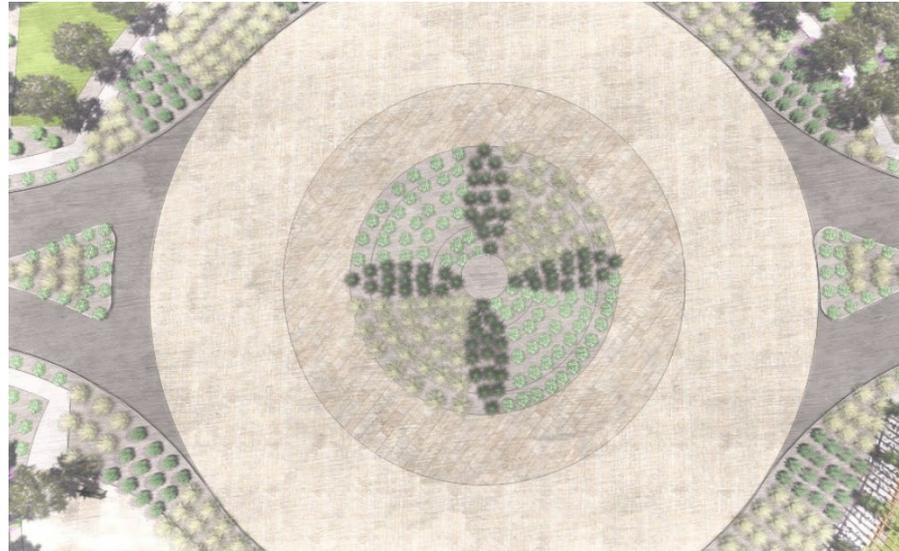


Figure 7.U
Conceptual Roundabout Views



7.2.3 Pedestrian Circulation

The Carleton Acres Master Plan prioritizes walkability by overlaying walking routes and sidewalks on streets to create a cohesive pedestrian network. Interconnected paths, trails, and sidewalks will promote easy access throughout Carleton Acres and link to existing pedestrian networks in neighboring areas. Shade trees and vegetation along streets and medians will enhance the pedestrian experience. Streetlights will be provided in conformance with City standards to ensure safety and visibility throughout the night. Other amenities like signalized intersections, crosswalks, street furniture, and signage will further contribute to safety, visibility, and neighborhood identity. Refer to Figure 7.V.

7.2.4 Bikeways

A proposed Class I shared path along Modoc Greenway (adjacent to Shannon Parkway) further establishes a multi-modal transportation network within Carleton Acres, and provides an alternative to automobile travel. North Roeben Street includes a Class I bike path from West Riggan Avenue to the future elementary school site. Class I bike paths are paved right of ways for exclusive use by pedestrians and bicyclists. Clusters of trees will line the path to create an aesthetically pleasing environment and provide ample shading for users. The proposed Class I path serves as a recreational and functional way to enhance interconnectivity between existing and proposed schools, residential units, neighborhood shopping centers, and parks.

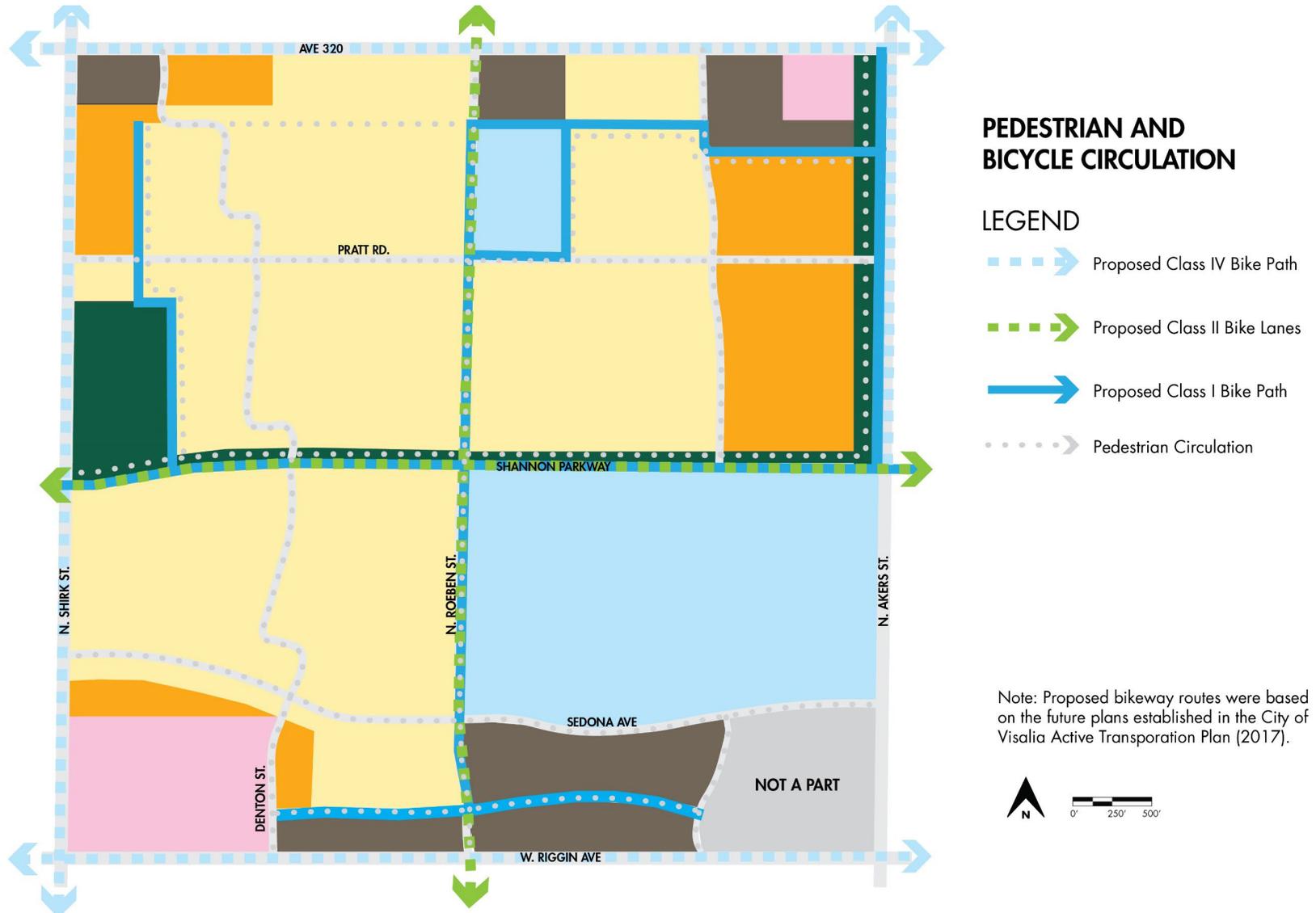
Class II bike lanes are proposed along North Roeben Street. Class II bike lanes are striped on-street travel lanes exclusively for bicyclists. Class IV bike lanes are located along arterials on West Riggan Avenue, North Shirk Street, Avenue 320 and North Akers Street. The bike

lanes are protected from vehicle traffic by being raised and adjacent to the sidewalk.

The bikeways proposed within Carleton Acres are consistent with future routes established by the City's ATP. Design standards for the Class I and Class II bikeways will conform with those outlined in the 2010 Waterway Trails Master Plan. Figure 7.V shows the pedestrian and bicycle circulation within the Plan Area.



Figure 7.V
Pedestrian and Bicycle Circulation



7.2.5 Parking

Carleton Acres will provide adequate on- and off-street parking to accommodate proposed businesses, motorists, and residents. On-street parking will be included throughout the Plan Area to provide short-term parking needs. On-street parking also doubles as a protective barrier between vehicular traffic and pedestrians. Off-street parking within the Plan Area should be consistent with off-street parking requirements listed in Section 17.34.020 of the City's Zoning Ordinance:

Commercial Parking:

Section 17.34.020 of the City's Zoning Ordinance requires general shopping centers to provide one parking space for each two hundred and twenty-five square feet of building area. Retail food markets, such as grocery stores, must provide one parking space for each five hundred square feet of building area.

Residential Parking:

Carleton Acres promotes a mix of land uses and incorporates a variety of housing densities ranging from single-family villages to multi-family dwellings. According to the City of Visalia Zoning Ordinance, single-family dwellings require two parking spaces (one covered) per unit, and multi-family dwellings require 1.5 parking spaces per unit. An additional .25 spaces will be required for multi-family dwellings when more than fifty percent of the units are dedicated as three- or four-bedroom units.

Educational Facilities:

The Carleton Acres Plan Area includes an existing middle school, a planned high school, and a future elementary school. Pursuant to the City's Zoning Ordinance, elementary and middle schools require two parking spaces for each classroom. The planned high school will require one parking space for each employee, as well as an additional seven parking spaces for each classroom.

7.2.6 Public Transportation

Two policies outlined in the City's General Plan (T-P-33 and T-P-34) highlight establishing transit stops for major commercial and residential areas along with the design and development standards for transit service in the community. The City's Active Transportation Plan is the integration of pedestrian and bicycle facilities with public transit as a primary objective. To adhere to the goals set out by these plans and increase the availability and use of transit, Carleton Acres proposes a minimum of three new bus stops to support public transit services. As shown in See Figure 7.A, two transit stops are proposed on Avenue 320 and one is proposed on W. Riggan Avenue. The proposed bus stops and public transit routes will be operated by Visalia Transit (VT). The bus stops should include a shelter to provide adequate shading, seating, and clear signage.

7.3 GRADING MASTER PLAN

7.3.1 Existing Conditions

Ridgeview Middle School is the only existing structure adjacent to the Plan Area. The remainder of the project site is undeveloped.

7.3.2 Proposed Conditions

Development within the Plan Area shall comply with grading requirements as described in the City Municipal Code to minimize the potential for erosion, landslides, and other forms of land disturbance.

7.4 DRAINAGE MASTER PLAN

7.4.1 Existing Conditions

Ridgeview Middle School, is currently supported by existing storm mains that run beneath N. Akers Street and Sedona, which carry runoff via a network of pipes and catch basins.

7.4.2 Proposed Conditions

The storm drainage system for Carleton Acres will be designed in compliance with City standards to help minimize the impact of the proposed development. The Plan Area will discharge stormwater runoff through proposed storm drain lines that connect to a proposed 36-inch storm drain trunk line and appurtenances along Sedona and Pratt. A minimum 48-inch diameter storm drain pipeline and appurtenances shall be installed at N. Shirk Street consistent with the City's storm drainage master plan requirements. All drainage, including the proposed storm drain lines, will be directed to the recharge basin proposed in the Plan Area. Refer to Figure 7.W Storm Drain Master Plan.

Stormwater

The stormwater drainage system for the Project will be designed in compliance with City standards to ensure adequate facilities to serve the Project. The Project will discharge stormwater runoff through a proposed storm drain system that drains into a proposed drainage basin onsite. The basin design is based on a 10 year, 10 day storm event.

A site survey was conducted to identify the appropriate location of the drainage basin based on site slopes and other factors. The basin is proposed to be integrated into the western edge of the Project Area at the northeast corner of N. Shirk Street and Shannon Parkway. The proposed basin location is in the lowest elevation of the Project site and is in the natural drainage/low area of the development. This allows for natural stormwater runoff. The basin is approximately 17.3 gross acres, 11.4 net acres, with a capacity of 93.29 acre/feet. The 93.29 acre/feet of capacity is in excess of the 90.80 acre/feet of storage capacity that would be required by the Project. The basin will be 10' deep with 3:1 side slopes. Refer to Figure 7.X Storm Drain Basin Calculations. Half of the basin is proposed to be completed for Phase 1 while construction is underway for development in Phase 1. In addition to serving the proposed development, the basin will be designed to accommodate storm drainage for the existing Ridgeview Middle School, the proposed High School, future elementary school, and future City facilities at the intersection of N. Akers Street and W. Riggan Avenue. A bioswale will be used to collect storm water from developments adjacent to the existing Modoc Ditch. The bioswale shall be connected to the proposed basin by culverts. The location of the bioswale adjacent to the bike path trail will enhance the landscape space.



As mentioned above, the Water Storage/Recharge Basin location is within Phase 2 but will be partially built for the use of Phase 1. Native vegetation and a trail around the basin will enhance the area. The existing middle school currently drains to a temporary basin located to the West of the school.

Bioswales

The proposed bioswales north of Shannon Parkway and Modoc Ditch, as well as west of N. Akers Street and Modoc Ditch, will serve as stormwater drainage systems for the northeast portion of the development. Runoff from the streets will be directed to the bioswales through gutters or pipes, and storm drains will discharge into the bioswales using bubble up drains/inverse siphons. These bioswales will be 18' wide and 4' to 5' deep, connecting to the proposed basin through culverts. The design details of the bioswales will be further developed in improvement drawings as the project progresses, potentially involving multiple developers during various phases of construction. The Lighting and Landscape District would maintain the bioswales.

Figure 7.W
Storm Drain Master Plan

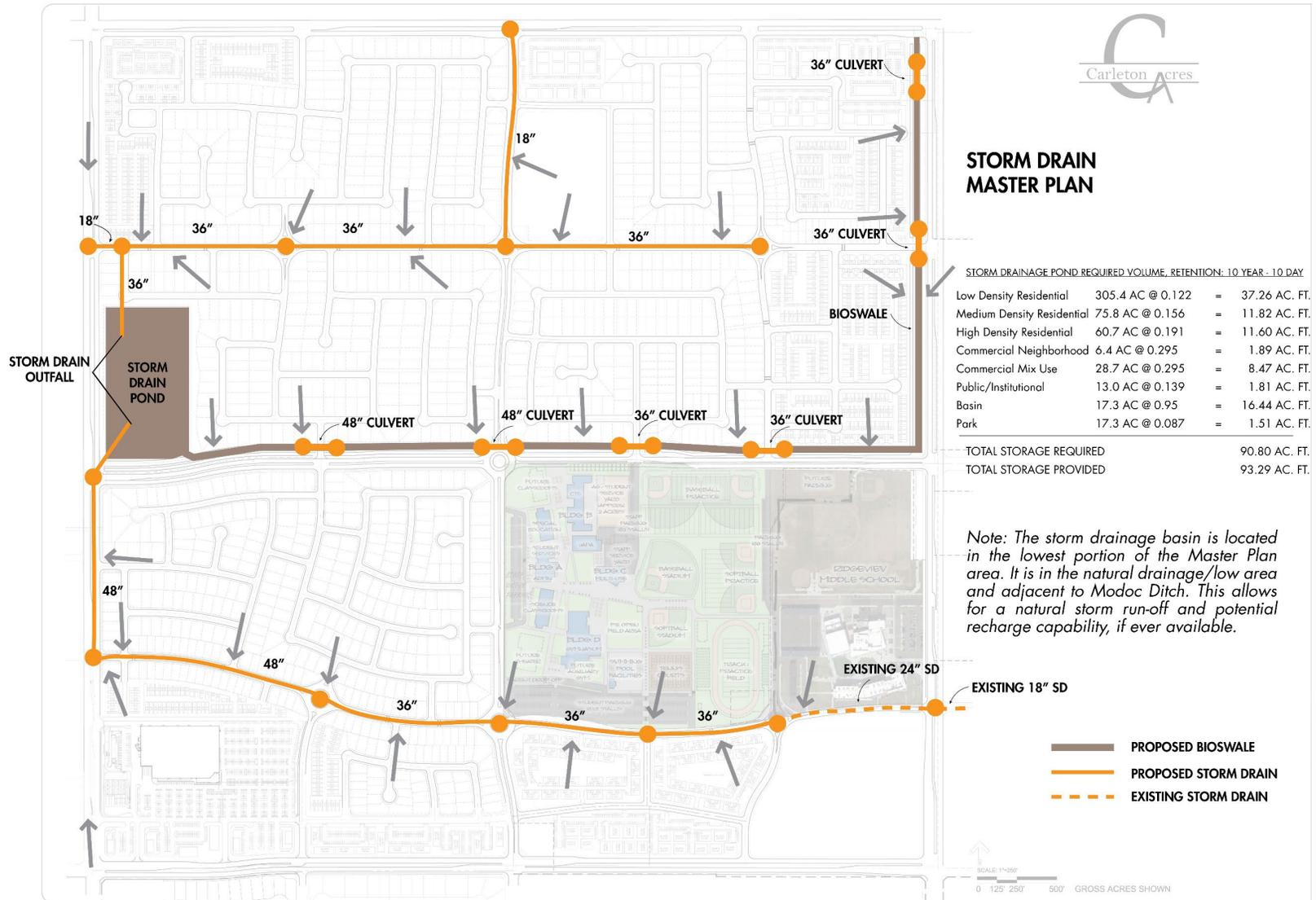


Figure 7.X
Storm Drain Basin Calculations



4CREEKS

| | |
|-----------|----------------|
| Project: | Carleton Acres |
| Job No. | 22343 |
| By: | EV |
| Check By: | JF |

STORM DRAIN MASTERPLAN RETENTION BASIN CALCULATIONS

Demand

| Land Use | Runoff Coefficient C | Area (acre) A | C*A |
|--------------------------|-------------------------|------------------|---------------|
| Low Density Residential | 0.35 | 305.4 | 106.89 |
| Med. Density Residential | 0.45 | 75.8 | 34.11 |
| High Density Residential | 0.55 | 60.7 | 33.385 |
| Commercial Mix Use | 0.85 | 28.7 | 24.395 |
| Commercial Neighborhood | 0.85 | 6.4 | 5.44 |
| Public/Institutional | 0.40 | 13 | 5.2 |
| Park | 0.25 | 17.3 | 4.325 |
| Basin | 0.95 | 17.3 | 16.435 |
| | | | 0 |
| TOTAL | | 524.6 | 230.18 |

Depth of rainfall, R = 4.17 in
 Volume required, $V_{req} = 90.71$ ac-ft = $C * R * A = (\sum (C * A)) * R$

Capacity

Total depth, d (ft) = 10.0
 Side slope, s (H:V) = 3
 Freedboard (ft) = 1.0

| | Hinge Point | High Water Line |
|--------------------------|-------------|-----------------|
| Top area, B1 (sf) = | 498391 | 489711 |
| Mid-depth area, M (sf) = | 455554 | 451348 |
| Bottom area, B2 (sf) = | 414150 | 414150 |
| Depth (ft) = | 10.0 | 9.0 |
| Volume, V (ac-ft) | 104.64 | 93.29 |
| Excess capacity (ac-ft) | | 2.58 |

OK

Basin to be 10' deep with 3:1 side slopes



7.5 WATER MASTER PLAN

7.5.1 Existing Conditions

The City of Visalia's water is supplied by California Water Service Company (Cal Water). The City's source of water comes from 75 active supply wells that extract groundwater from the Kaweah Groundwater Sub-basin. The water is distributed over 519 miles of pipelines. Water is currently supplied to Ridgeview Middle School as well as properties surrounding the Plan Area via existing water mains.

7.5.2 Proposed Conditions

Water will be supplied to the Plan Area by Cal Water. Carleton Acres will require the extension of pipelines to accommodate future growth, including the installation of 12" mains to connect to the Project Area. A 12" main on N. Akers Street will be extended north of the Ridgeview Middle School. A 12" main on N. Shirk Street will be extended from W. Riggan Avenue. Major streets around the property will require a 12" main, and interior streets will require an 8" main. Fire hydrants will be located every 600 feet of linear residential and 500 feet of linear commercial. The water distribution system within Carleton Acres is shown in Figure 7.Y.

7.6 SEWER MASTER PLAN

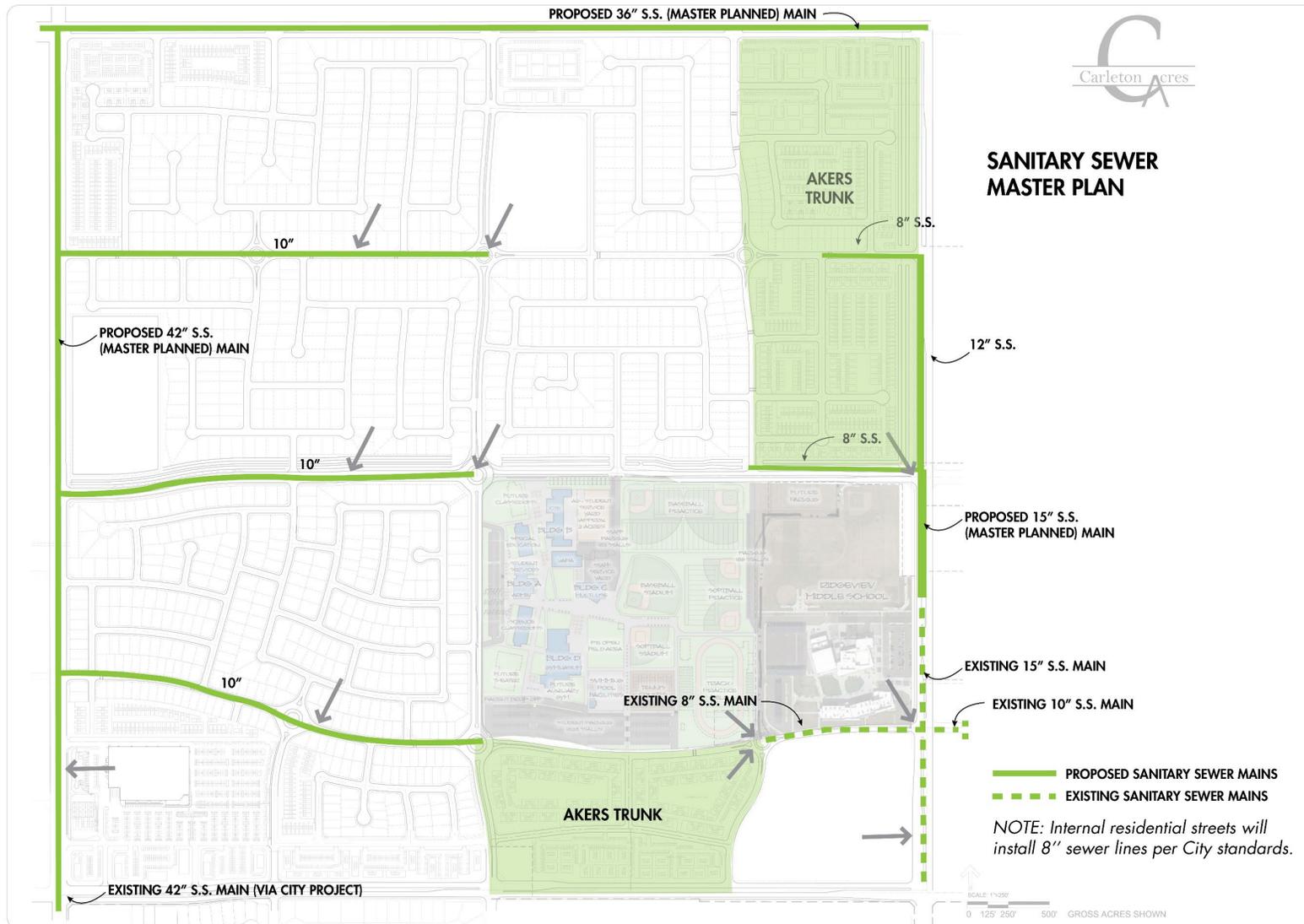
7.6.1 Existing Conditions

Wastewater generated in the City of Visalia is treated by the City's Water Conservation Plant (WCP) located west of Highway 99 and south of Highway 198. Ridgeview Middle School is the only existing structure adjacent to the Plan Area. Existing 8" sewer mains running along N. Akers Street and Sedona provide sewer service to the school.

7.6.2 Proposed Conditions

Sewer/wastewater generated in Carleton Acres will be treated by the City's Water Conservation Plant. The Project proposes to install and extend all City master planned sewer lines to the extent determined by the City Engineer per development phasing plans. The northeast portion of the development shall tie in with the existing 15" sewer main at N. Akers Street. The high density south of the proposed high school shall tie in with the existing 8" sewer main at Sedona. The remainder of the proposed development will tie in with the existing 42" sewer main at the intersection of W. Riggin Avenue and N. Shirk Street. A minimum 10" sanitary sewer main and appurtenances will be extended along Pratt, Shannon Parkway, and Sedona. A 36" sanitary sewer line is proposed along Avenue 320. (See Figure 7.Z.) The extension of sewer mains shall comply with the standards established in the City's sewer and storm master plan. Oversizing shall be reimbursed by the City. The design details including the sewer crossing Modoc ditch will be further developed in improvement drawings as the project progresses.

Figure 7.Z
Sanitary Sewer Master Plan



7.7 ELECTRICAL MASTER PLAN

7.7.1 Existing Conditions

Electricity in Visalia is provided by Southern California Edison (SCE). Current electrical lines run beneath and overhead along major arterials and collectors adjacent to the Plan Area and provide electricity to Ridgeview Middle School and surrounding neighborhoods. Along the north side of W. Riggins Street 19 power poles of Southern California Edison will have to be relocated to accommodate the street future widening/dedication.

7.7.2 Proposed Conditions

Electricity will continue to be provided to the Plan Area by SCE via the extension of existing electrical lines. 12kV backbone lines are proposed along arterial and collector streets with the exception of Avenue 320. 6.9kV circuit ties will extend from the backbone lines throughout all the local streets. New electrical distribution lines will be placed underground in accordance with City utility standards and regulations.

7.8 GAS MASTER PLAN

7.8.1 Existing Conditions

Natural gas in Visalia is provided by SoCal Natural Gas / Sempra Energy. Transmission lines surrounding the Plan Area deliver natural gas to Ridgeview Middle School and adjacent properties.

7.8.2 Proposed Conditions

Land development for the Carleton Acres Specific Plan will include residential and commercial uses. New construction and expansion of

the natural gas distribution system will require coordination with SoCal Gas / Sempra Energy.



Implementation

8.0



8.0 Implementation:

8.1 INTRODUCTION

The implementation of the Carleton Acres Specific Plan is a collaborative effort involving the City of Visalia, Master Developer, Builder/Developers, and other stakeholders. This process ensures that the standards and vision outlined in the plan are applied appropriately. The plan, including graphic illustrations, text, and development and design standards, will be carefully processed and reviewed to ensure consistency with the City's General Plan and Zoning Ordinance. This comprehensive approach ensures that Carleton Acres will be developed in line with its vision, creating a well-designed and cohesive community.

8.1.1 Application

Carleton Acres Specific Plan applies to all lands within the Specific Plan Area boundaries shown in Figure 2.C. All developments within the Specific Plan Boundaries must be consistent with the Specific Plan and the City of Visalia's General Plan and must be approved and permitted by the City of Visalia. Within the Specific Plan area, the Regulations of this Specific Plan shall control the development. The graphic illustrations are intended only to illustrate particular applications. The exact location of streets, utilities, and boundaries of development will be determined by the approval of subdivision maps. A Vesting Tentative Subdivision Map for Phase 1 single family residential and Commercial Tentative Map will be processed alongside this Specific Plan as well as other necessary entitlements. The City of Visalia will be responsible for plan-check, inspection, and occupancy release.

8.2 PURPOSE

- To assure that all projects within Carleton Acres are consistent with the planning and design intent guidelines and standards of this Specific Plan as well as the standards of the City of Visalia.
- To create a fair, simple, and efficient process that assures that all project needs are met while following the Specific Plan.
- To specify land uses and development guidelines that relate to the City of Visalia General Plan.
- To provide an efficient project review and approval process with the City of Visalia.

8.3 RESPONSIBILITIES

8.3.1 Master Developer Responsibilities

The Master Developer shall participate in the approval of this Specific Plan document, EIR and other studies, Development Agreement, General Plan Amendment, Tentative Tract Map (Phase 1 Single Family), Commercial Tentative Map and Annexation.

The Master Developer is responsible for the construction of the water/storage recharge basin.

8.3.2 Builder/Developer Responsibilities

Each Builder/Developer is responsible for the construction of the following items within the Builder/Developer's property:

- Streets, all utilities (including gas, electric, water, sewer, drainage and communication lines) and landscaping in the public right-of-way.



- Landscape and hardscape included within the pedestrian circulation, any parks or open space, lighting and directional signage.
- Identification & directional signage.
- Modoc Greenway Trail, where applicable.

8.3.3 City Responsibilities

The City of Visalia staff, Planning Commission and City Council shall collaborate with the Master Developer on the approval of the Specific Plan and other necessary approvals. Please see below items in Section 8.4.1. The City pre-adoption of this Specific Plan and EIR reduces the time required to obtain City approvals for individual projects within Carleton Acres Specific Plan. The City of Visalia will also determine that projects comply with the Carleton Acres Specific Plan based on the vision and guidelines within this Plan.

8.4 APPROVALS

8.4.1 Specific Plan Approvals

Along with this Specific Plan below are other necessary approvals including the following:

- Certification of the Carleton Acres Environmental Impact Report
- Approval of Final Specific Plan and Amendments, if necessary
- Approval of a General Plan Amendment
- Approval of Zone Changes
- Approval of a Tentative Tract Map (Phase 1 Single Family)
- Approval of Commercial Tentative Map
- Approval of a Master Development Agreement between Developer and the City of Visalia

8.4.2 Individual Project Development Approvals

For individual Project Developments within Carleton Acres, Builders/Developers require following approvals. See Section 8.5.3 for more information.

- Approval of Lot Line Adjustment to reflect the various stages of the Project
- Approval of Site Plan Review and/or Tentative Subdivision Map, if applicable
- Approval of Conditional Use Permit Application, if applicable
- Amendments to the Specific Plan, if necessary
- Approval of Final Subdivision Map, if applicable
- Approval with Building Department and other Departments for Building Permits

8.4.3 Other Public Agencies Approval and Consultation

The Project will require various permits and/or entitlements from regulatory agencies. Consultation may be required and the City of Visalia will integrate CEQA review with these related environmental review requirements. These may include, but not be limited to the following:

- Tulare County LAFCO (annexation)
- San Joaquin Valley Air Pollution Control District – approval of construction and/or operational air quality permits
- Storm Water Pollution Prevention Plan
- Regional Water Quality Control Board

8.5 PROJECT REVIEW AND APPROVAL PROCESS

The Specific Plan is a collaboration between Master Developer and the City of Visalia. The Plan is a clear vision for the community and ensures the quality of future growth in the City.

The City of Visalia recognizes that Carleton Acres will be built as multiple projects. This allows each project to meet market realities. The City pre-adoption of this Specific Plan and EIR reduces the time required to obtain City approvals for individual projects within Carleton Acres Specific Plan.

8.5.1 Project and Subdivision Map Approval Process

A “project” is defined in this Section as a development of new commercial, residential or institutional buildings within the Specific Plan area. Any project on non-public land within Carleton Acres must be reviewed and approved by the City of Visalia. These approvals will ensure that each project will be consistent with the Specific Plan and 2030 General Plan. The project approval process of Carleton Acres Specific Plan is designed to require the minimum time and complexity with assuring that each development project meet Specific Plan requirements. A Tentative Subdivision Map, if applicable, for each project must be reviewed and approved by the City. This review and approval process utilizes established City of Visalia procedures.

Allowed Uses in Section 2 notes Permitted and Conditional-Use Permitted project types. Conditional-Use Permitted projects shall require approval from the Planning Commission.

8.5.2 Interpretations and Amendments

The implementation of this Specific Plan will take place over a course of several years. Deviations of project features from the original

Specific Plan may emerge during the implementation phase. In order to account for these changes, authorized Interpretations, Adjustments, Minor Amendments, and Major Amendments to the Specific Plan may result.

Interpretations

The City of Visalia, the General Plan, and other City of Visalia planning documents and policies hold the responsibility for interpreting the provisions outlined in the Carleton Acres Specific Plan. In cases where any ambiguity arises, the City will resolve it in a manner consistent with the established goals and objectives of this document. Interpretations may be required for decisions related to discretionary development applications, subdivision maps, and building permits. During the interpretation process, the City's approving authority will consult with relevant City departments that may be impacted by the decision to ensure a comprehensive and informed resolution.

Adjustments

Adjustments within the Carleton Acres Specific Plan pertain to minor modifications that align with the plan's original intent. These changes may be required during the final design and engineering phase, such as shifts in roadway alignments, utility locations, infrastructure adjustments, density transfers, lot sizes, and site development dimensions, which are deemed as minor. The City of Visalia holds the authority to make these adjustments through an administrative review process to ensure compliance with both City regulations and the overall intent of the Specific Plan.

Amendments

Amendments refer to substantial changes to specific features of the Carleton Acres Specific Plan, and usually involve deviations from the

original intent of the Specific Plan or General Plan. Amendments are permitted to the Specific Plan and include significant changes that are not interpretations or adjustments. Amendments may include an increase or decrease in number of total lots by more than 20%, as well as a change in the configuration of the Plan Area's zoning. Amendments must be reviewed and approved by the City Council. Other amendments shall be deemed as Major Amendments and will require the review and approval by the City.

EIR

The processes involved with implementing the Specific Plan will be subject to environmental review, including an EIR for this project. Interpretations, Adjustments, and Amendments that are consistent with the intent of the Specific Plan may result in an environmental determination of "categorically exempt" since the EIR has covered all the potential environmental issues within the Plan area. Additional environmental review may be necessary for Major Amendments to the Specific Plan including instances where a previously unknown environmental resource is found on the site, or surrounding conditions are significantly altered since the certification of the EIR. If this occurs, the Lead Agency may prepare an Addendum or Supplement to the EIR, or a subsequent comprehensive or focused EIR to address these findings.

8.5.3 Approval Process for Individual Projects:

1. Initial Meeting with the City:

This meeting or series of meetings provides the Builder/Developer with information needed to prepare for a project submittal with Standards from this Specific Plan. This meeting will determine if the use is allowed or Conditional-Use Permit will be required. The City shall also determine items to be

included for Site Plan Review and procedures for the review process. The Builder/Developer reviews the vision and guidelines of the Specific Plan and required documents for Architectural Board review (see Section 8.5.6.)

2. Site Plan Review:

The Builder/Developer prepares and submits an application to the City of Visalia for review.

3. Site Plan City Review:

At this time the City will determine if the project is in compliance, requires adjustments to the Specific Plan or if an Amendment to the Specific Plan is required. The City will review to ensure the project complies with the Specific Plan's land use, density, parking and other development standards.

If the City finds that the project is in compliance, the Builder/Developer shall submit information to the Architectural Board. The board reviews the project to be compliant with the vision and guidelines of the Specific Plan. The Builder/Developer is responsible for revising the project plans to reflect the comments.

Items being reviewed by the City and Architectural Board:

- That all applicable design standards of the Carleton Acres Specific Plan are complied with.
- The location of structures, landscaping and pedestrian paths support the community.
- That onsite circulation and driveway locations are adequate and safe for pedestrians and vehicular

circulation. Minimize traffic conflicts and congestion.

- That the proposed development is quality and preserves privacy for residential users.
- That the architectural style and design of the project shall contribute to the overall design quality and character of the Specific Plan.

4. Application for Project Approval:

The Builder/Developer prepares a revised project design based on comments from Site Plan Review and Architectural Board. The signage plan is also included at this time. If an Amendment to the Specific Plan or Conditional Use Permit is required staff shall prepare a report for review and approval from Planning Commission and, if required, City Council.

5. Project Approval:

The Builder/Developer then prepares construction documents meeting the City of Visalia requirements while also incorporating comments and/or conditions from Site Plan Review and/or Planning Commission and City Council. Construction documents shall also be submitted to the Architectural Board for final approval.

6. Building Permit:

The Builder/Developer submits the construction documents meeting all Specific Plan, City of Visalia and other required information to the Visalia Building Department for the necessary approval.

8.5.4 Street Approval

All Visalia streets including those within this Specific Plan must be approved by the City. Discussions have been made with the City concerning the cross sections in this document. Any changes from this document will have to be reviewed by the City.

8.5.5 Signage Approval

All submittals to the City shall be consistent with the requirements of the Specific Plan. Preliminary signage plans shall be submitted to the City and Architecture Board. Final signage shall incorporate comments and be submitted to the City when construction documents are submitted for building permit.

8.5.6 Architectural Board Approval

Introduction

Carleton Acres will be built by different Builder/Developers. The Architectural Board ensures that the design intent meets the Specific Plan requirements. Before approval with the City, approval is required by the Architectural Board. Drawings must be submitted demonstrating design compliance for all projects located in Carleton Acres. The Architectural Board shall have the powers to review, approve, deny or amend all plans and specifications for all structures, landscaping and exterior designs submitted to the Committee. All actions of the Committee shall be taken by vote or written consent of a majority of the Committee Members.

Membership of the Architectural Board

The Architectural Board Initial Board Members shall be Dave Crinklaw, Eric Shannon, Gary Artis, Sandra Staats and Michelle Huerta.

Future Membership of the Architectural Board

The Architectural Board Future Members shall be appointed by the existing members by 50% vote. There shall be a minimum of three and a maximum of five board members.

Required Submission of Plans

No parcel subject to the Specific Plan shall be graded and no building, wall, structure, or landscaping of any kind shall be commenced, erected or maintained on any parcel and exterior addition to any structure on a parcel shall be made until the construction documents and specifications have been submitted to the Architectural Board and thereafter approved in writing. The Architectural Board shall have 30 days after the submission of plans and specifications in which to approve or disapprove proposed improvements. The failure of the Architectural Board to act within the 30-day period shall constitute approval of the proposed improvements.

Architectural Board approval letter is required by the City before issuances of permit.

Disapproval of Plans

The Architectural Board shall disapprove of any structure that does not meet the development standards and design guidelines of the Specific Plan. The Architectural Board shall disapprove any grading plan which is not in conformance with the final parcel map.

Landscaping

The building plan submittal shall also include detailed landscape plans designating the type and location of all landscaping and irrigation to be installed. Every site within Carleton Acres shall be landscaped and maintained. The Architectural Board shall have the

right to disapprove any proposed landscaping or fencing which the Board considers incompatible with the overall development of parcels within Carleton Acres. Upon such disapproval, the Owner of the parcel shall prepare and submit to the Architectural Board an alternative landscaping and fencing plan for its review and approval. No Owner shall install any landscaping, plants, irrigation or similar improvements on any parcel subject to this Declaration without the prior written approval of the Board as required herein.

The property Owner, lessee or occupant shall landscape and maintain unpaved areas between the property lines, including any area, public utility easement and the setback lines.

The property Owner, lessee or occupant shall provide facilities adequate to sustain and maintain the landscaped areas. Such facilities are to be adequately screened.

Approved landscaping shall be installed at completion of the building. Fencing improvements, as approved by the Architectural Board, shall be installed concurrently with the installation of landscaping improvements for the parcel.

Except as approved by the Architectural Board no excavation shall be made except in connection with the construction of an improvement and upon completion thereof exposed opening shall be backfilled and disturbed ground shall be graded and leveled.

Interpretation

In addition to the powers and duties specified in this Section, the Architectural Board shall have the right to interpret, adjust or modify each provision or restriction contained in the Carleton Acres Specific Plan.



Neither the Architectural Board or its designated representative shall be entitled to any compensation for services performed pursuant to this Section. The Architectural Board is not responsible for any structural defects in submitted plans or specification for any building or structure erected according to such plans or specifications.

The Architectural Board shall not be liable in damages to anyone submitting plans and specification for approval, or to any Owner or lessee of any part of Carleton Acres Specific Plan, by reason of mistake in judgement, negligence or nonfeasance arising out of or in connection with the approval or disapproval or failure to approve any such plans and specifications. Every person who submits plans and specifications to the Architectural Board agrees, by submission thereof, and every Owner or lessee of any part of the Subject Property agrees, by acquiring title thereto or interest therein, that he will not bring any action or suit against the Architectural Board or the Declarant to recover any such damages.

8.5.7 Other Approval Items

General Plan Amendment

Adoption of amendments to the 2030 General Plan or a General Plan Update by the City will not require amendment to the Specific Plan. Any amendment to the Specific Plan must be consistent with the General Plan except in matters in which the Developer/Applicant shall possess vested rights under the terms of a Development Agreement entered into between the Developer/Applicant and the City.

Environmental

The City of Visalia has certified the Project Environment Impact Report in association with approval of the Carleton Acres Specific Plan.

Temporary Uses

The following are temporary uses permitted within Carleton Acres.

Residential Land Use:

- Construction signs.
- Sales or rental offices.
- Subdivision model homes and related facilities.
- Temporary construction yards and offices.
- Youth, charitable or nonprofit organization projects.
- Other temporary uses that the Development Director has determined to be compatible with the land use.

Commercial Land Use (may be subject to a Temporary Conditional Use Permit):

- Temporary uses listed in residential land use above.
- Christmas tree lots.
- Grand opening signs, banners and other similar temporary signage.
- Outdoor concerts.
- Outdoor sales.
- Other temporary uses that the Development Director has determined to be compatible with the land use.

Open Space, School and Public Facilities Land Use:

- Subdivision signs.

- Temporary construction yards and offices.
- Youth, charitable or nonprofit organization projects.
- Other temporary uses that the Development Director has determined to be compatible with the land use.

8.6 DEVELOPMENT PHASES

The Carleton Acres Specific Plan will be divided into two phases for development. Development is expected to begin in 2023 and completed approximately 2043.

Phase 1

Phase 1 consists of development in the southern half of the Specific Plan Area, which includes street and infrastructure improvements, pedestrian paths and bikeways, low to high density residential units, neighborhood parks, and commercial mixed-use. Partial construction of the Water Storage/Recharge Basin for Phase 1 use.

Low Density Residential housing will be constructed first. Proceeding into Phase 2 is only determined by the completion of Low Density Residential. It is not dependent on the completion of Medium and High Density Residential or Commercial uses. Phase 2 would begin construction according to the Development Agreement.

Phase 2

Phase 2 consists of the remainder of the proposed Specific Plan, which encompasses additional street and infrastructure improvements, pedestrian paths and bikeways, low to high density residential units, neighborhood commercial, neighborhood parks, Water Storage/Recharge Basin, Modoc Greenway, and future elementary school.

8.7 PUBLIC FACILITIES FINANCING

The Specific Plan Area will be supported by the development and expansion of new and existing infrastructure systems. Project Builder/Developers shall be responsible for public improvements, such as the installation and extension of curbs, sidewalks, landscaping, and other similar features. The Specific Plan will be subject to development impact fees to support the expansion of public facilities. Impact fees shall be paid before the issuance of building permits. Installation of infrastructure including streets and dry and wet utility lines will be completed by the builder/developer and dedicated to the City as applicable. Arterial streets will be funded through the City's Capital Improvement Projects and Transportation Impact Fees. Collector streets shall be funded through the City's Transportation Impact Fee program. When a City Park or trail is constructed by a Builder/Developer the City shall reimburse or provide credit for park fees.

8.7.1 Landscaping and Lighting Act District

A Landscaping and Lighting Act Assessment District shall be formed, as mentioned in Section 6.11, prior to the final map of the individual project being recorded. The purpose is for the maintenance along public frontages and open spaces within a subdivision. The maintenance includes landscaping, fences and/or walls, and the operational and maintenance of street lights within the subdivision and the abutting streets.

The Landscape and Lighting Act District shall include the provisions for the City to collect payment from the subdivider to cover the estimated cost to operate and maintain the improvements of the District prior to assessments occurring on the property tax roll.

The design of Carleton Acres will not only be aesthetically pleasing but also serve as a special tribute to the land's rich agricultural history and Carleton Shannon's enduring legacy of farming passion. The thoughtful integration of design elements will create a unique and meaningful connection to the past, celebrating the community's heritage while providing a vibrant and inviting environment for residents to call home.

